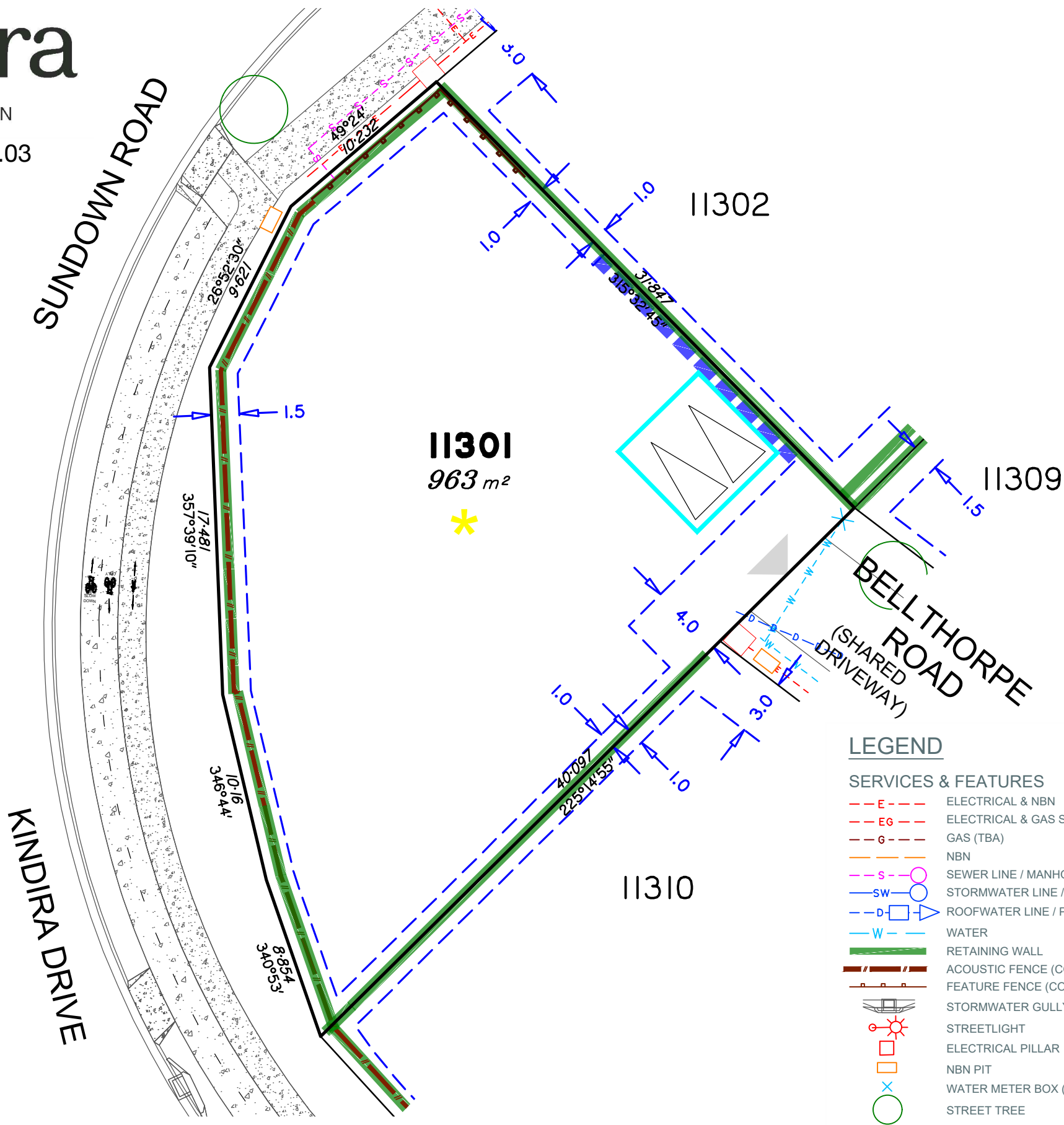


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MONARCH GLEN
PRECINCT 101.03



- NOTES
1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
 2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
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 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

- SERVICES & FEATURES**
- E--- ELECTRICAL & NBN
 - EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
 - G--- GAS (TBA)
 - NBN--- NBN
 - S--- SEWER LINE / MANHOLE
 - SW--- STORMWATER LINE / MANHOLE
 - D--- ROOFWATER LINE / PIT / KERB ADAPTOR
 - W--- WATER
 - RETAINING WALL--- RETAINING WALL
 - ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
 - FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
 - STORMWATER GULLY PIT--- STORMWATER GULLY PIT
 - STREETLIGHT--- STREETLIGHT
 - ELECTRICAL PILLAR--- ELECTRICAL PILLAR
 - NBN PIT--- NBN PIT
 - WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
 - STREET TREE--- STREET TREE

- PLAN OF DEVELOPMENT**
- BUILDING ENVELOPE (GROUND FLOOR)
 - OPTIONAL BUILT TO BOUNDARY WALL
 - INDICATIVE DRIVEWAY CROSSOVER
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
 - INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES				CHECKED TG
NO.	DRAWN	DATE	DESCRIPTION	
A	TG	06.05.2026	ORIGINAL ISSUE	

SERVICES AND FEATURES DATA SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM DESIGN PLANS ONLY, AND ARE SUBJECT TO FINAL SURVEY AND CONSTRUCTION. PLAN OF DEVELOPMENT DATA IS SHOWN AS A GUIDE ONLY. BUILDING SETBACK & DESIGN CRITERIA IN THE APPROVED PLAN OF DEVELOPMENT SUPERCEDE ANY PLAN OF DEVELOPMENT INFORMATION SHOWN ON THIS PLAN.



SCALE
1:250
0 2.5 5m

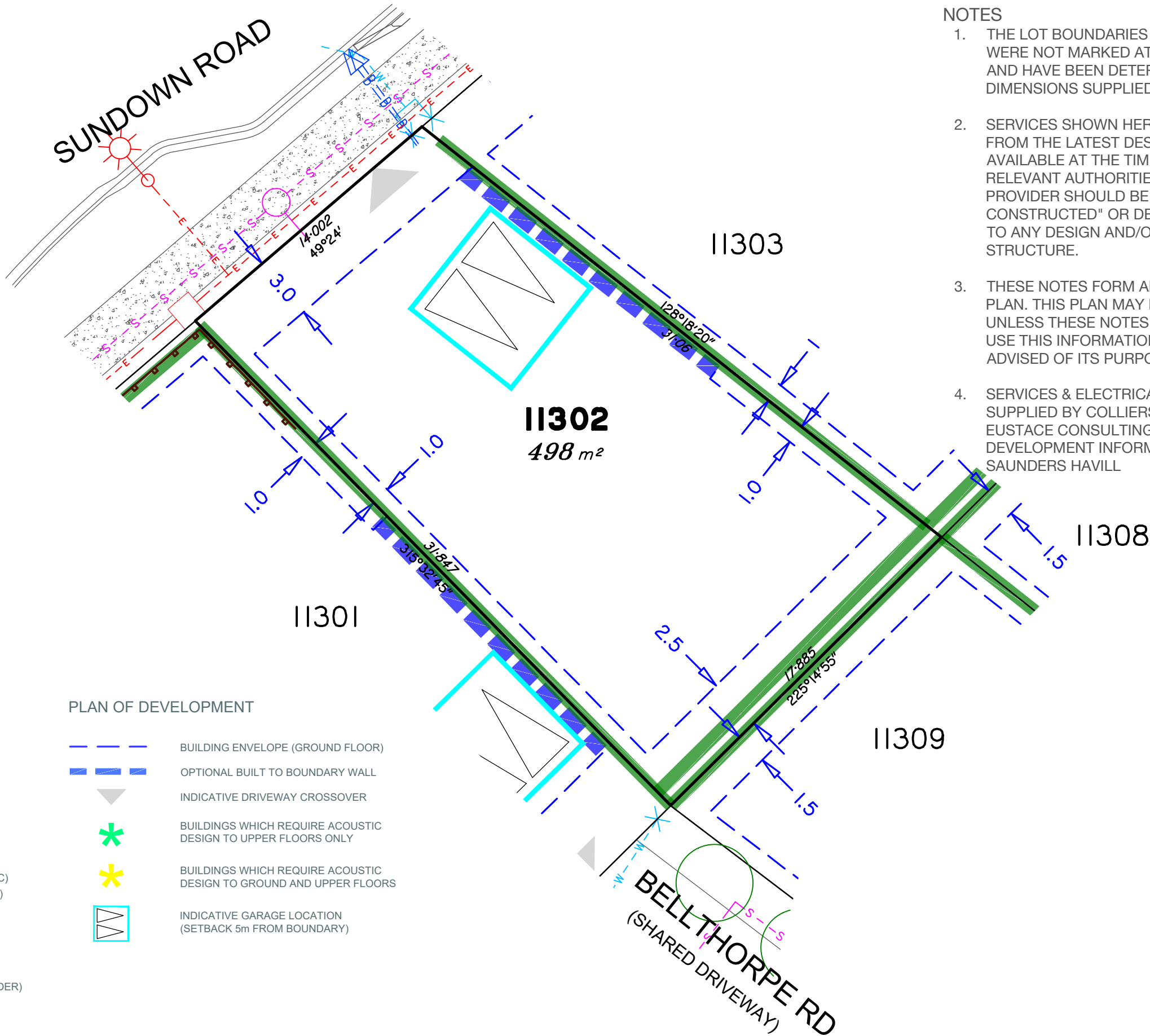
PLAN OF PROPOSED LOT 11301 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11301



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MONARCH GLEN
PRECINCT 101.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL & NBN
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED TG			

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11302 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11302



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MONARCH GLEN
PRECINCT 101.03

LEGEND

SERVICES & FEATURES

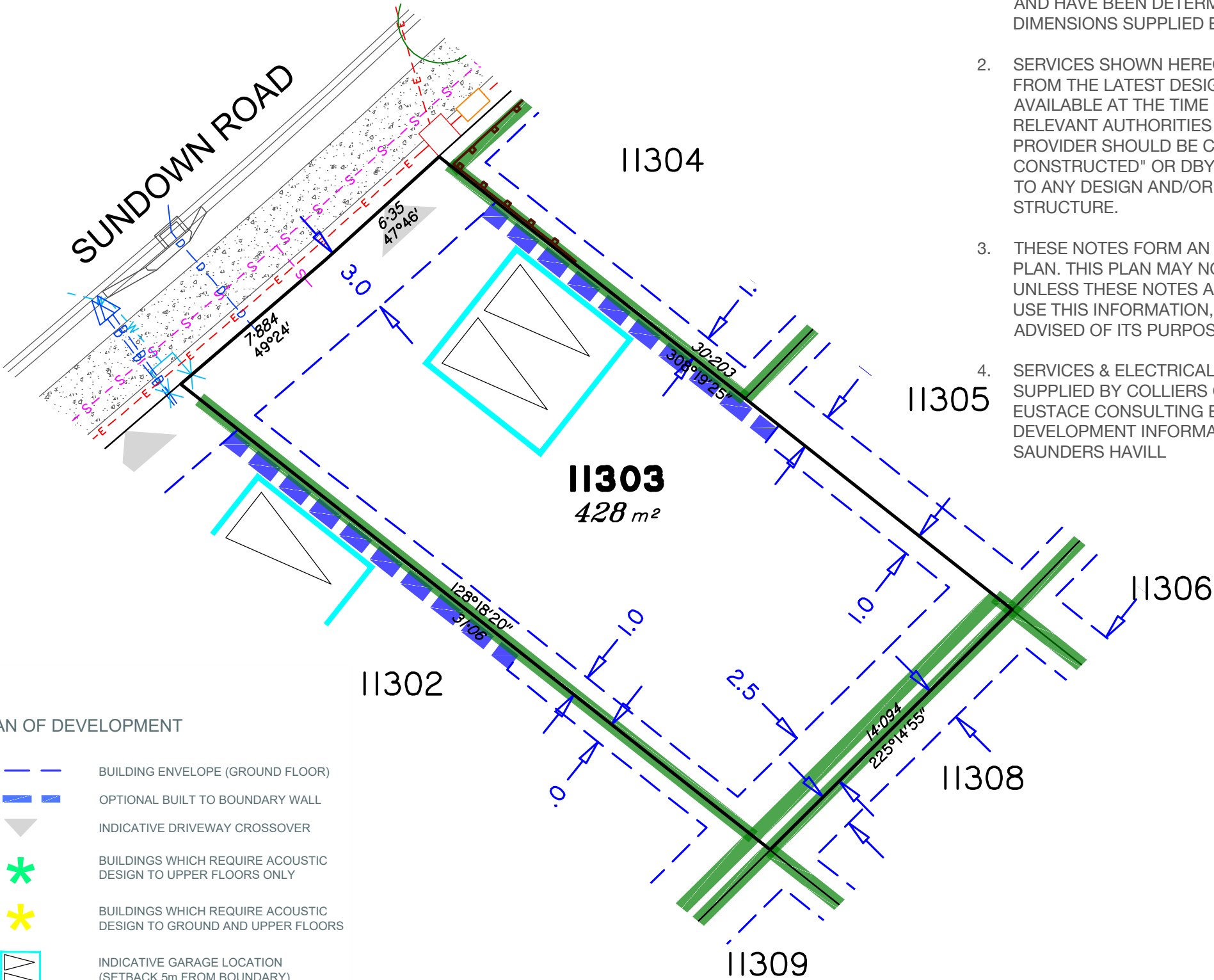
- **E** --- ELECTRICAL & NBN
- **EG** --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- **G** --- GAS (TBA)
- **NBN**
- **S** --- SEWER LINE / MANHOLE
- **SW** --- STORMWATER LINE / MANHOLE
- **D** --- ROOFWATER LINE / PIT / KERB ADAPTOR
- **W** --- WATER
- **RETAINING WALL**
- **ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)**
- **FEATURE FENCE (CONSTRUCTED BY MIRVAC)**
- **STORMWATER GULLY PIT**
- **STREETLIGHT**
- **ELECTRICAL PILLAR**
- **NBN PIT**
- **WATER METER BOX (METER BY OWNER/BUILDER)**
- **STREET TREE**

PLAN OF DEVELOPMENT

- **BUILDING ENVELOPE (GROUND FLOOR)**
- **OPTIONAL BUILT TO BOUNDARY WALL**
- **INDICATIVE DRIVEWAY CROSSOVER**
- **BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY**
- **BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS**
- **INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)**

NOTES

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11303 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11303



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MONARCH GLEN

PRECINCT 101.03

NOTES

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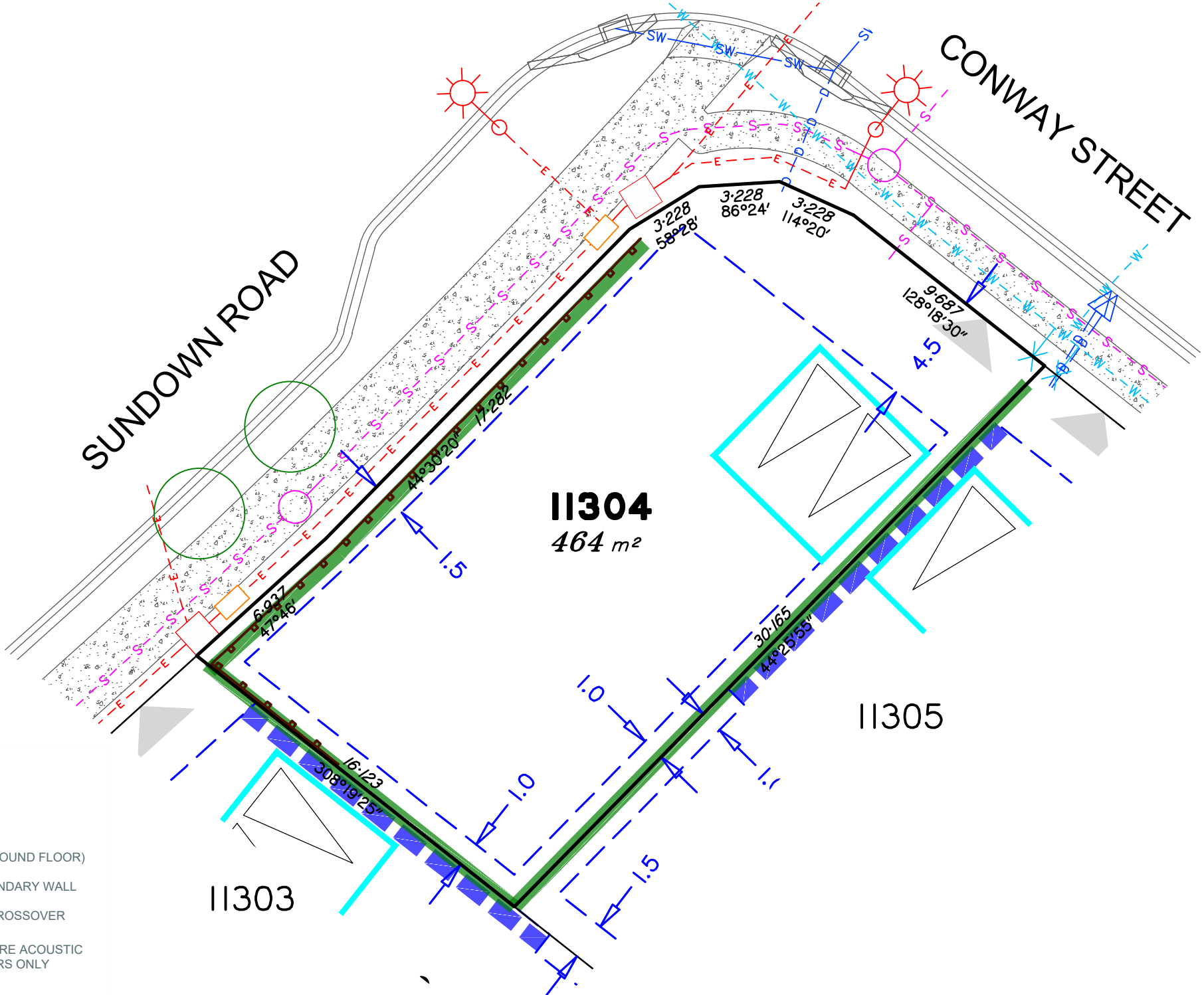
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11304 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A 11304



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MONARCH GLEN

PRECINCT 101.03

NOTES

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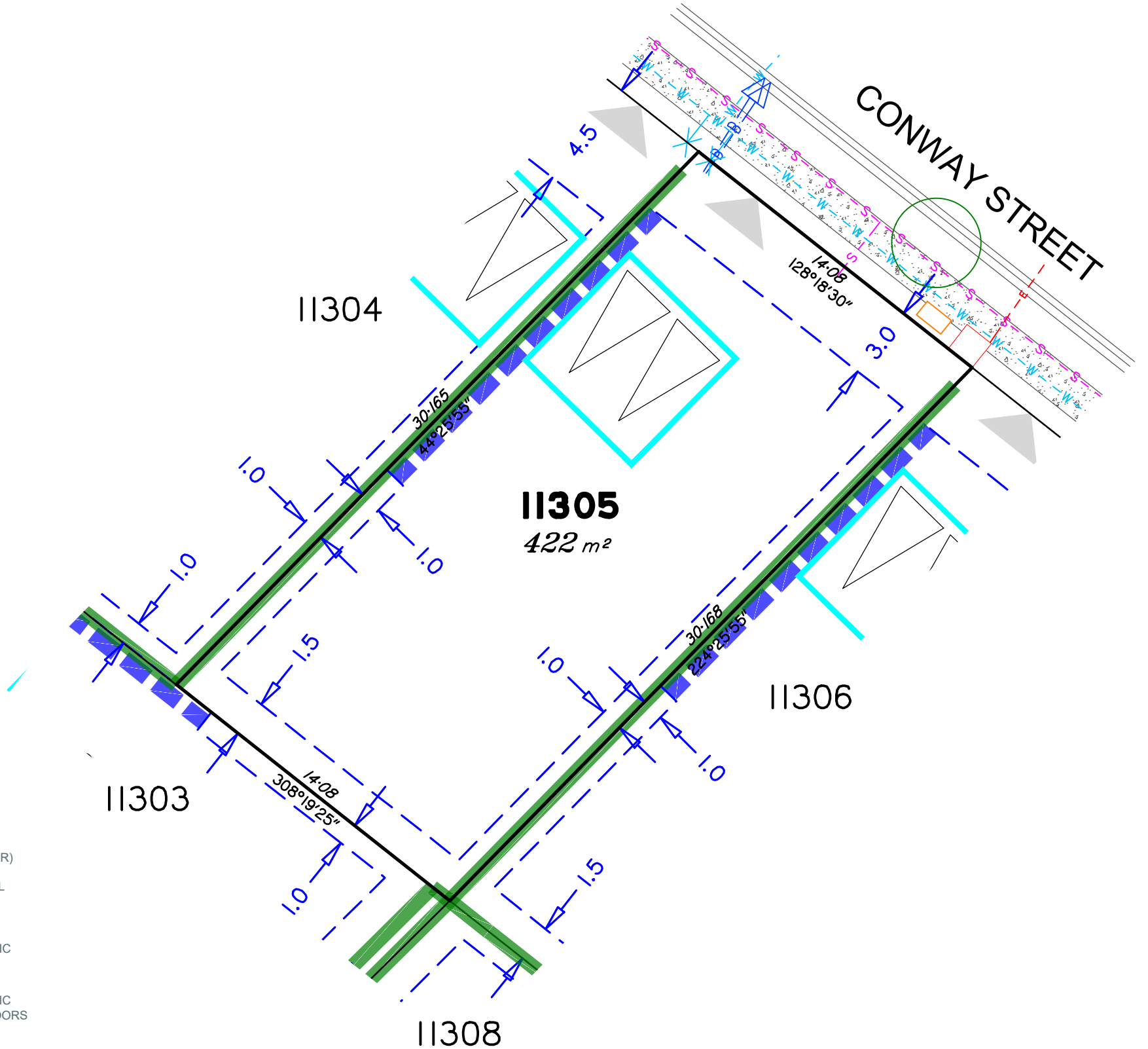
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m' at the top. Below the bar, the text '1:200' is written.

PLAN OF

PROPOSED LOT 11305 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11305



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MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

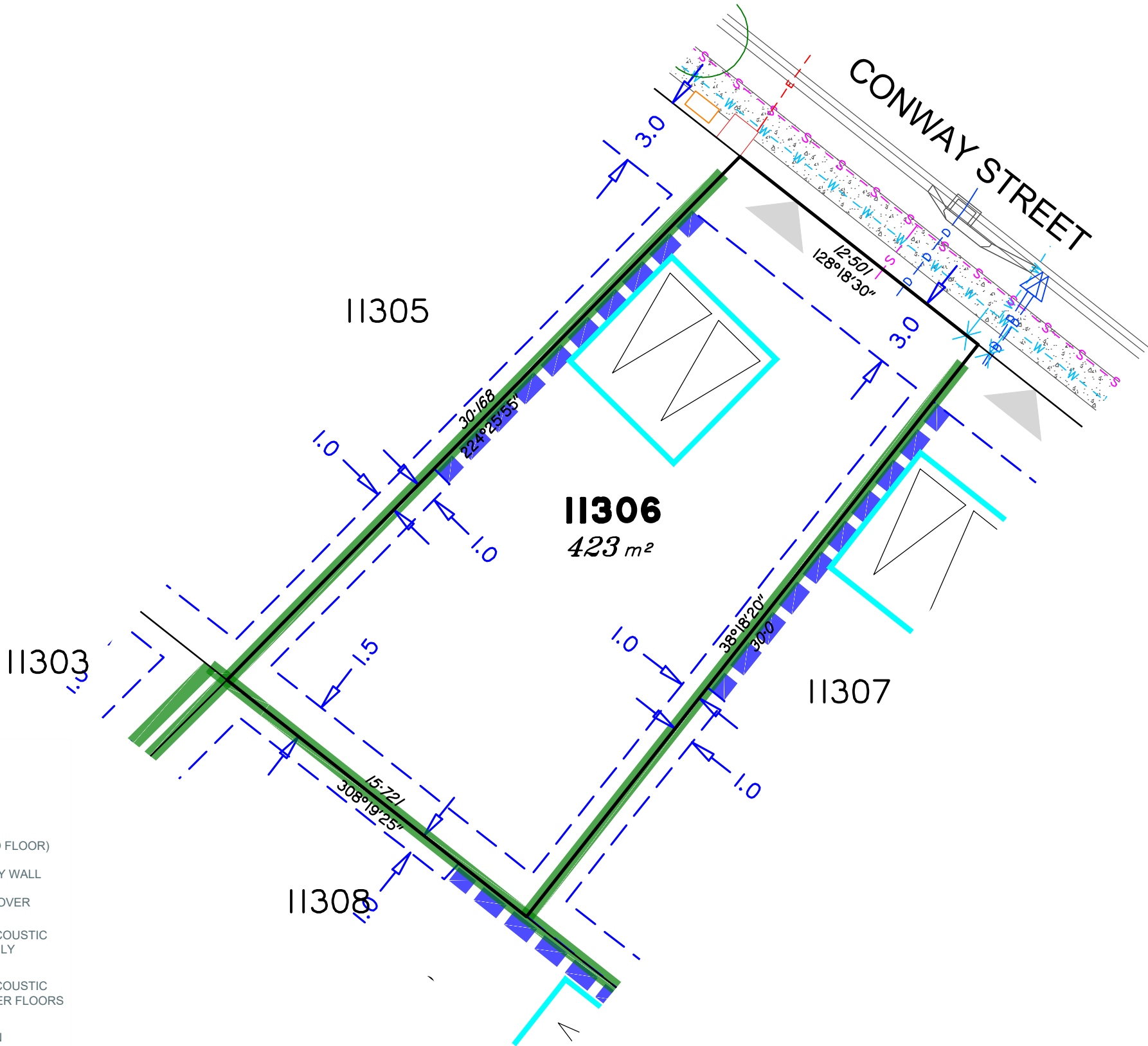
D

W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE

PLAN OF DEVELOPMENT

-
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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PLAN OF		PROPOSED LOT 11306 ON SP357520	
DESCRIBED AS:		PART OF LOT 1 ON SP351245	
EXISTING TITLE REFERENCE:		51370117	
LOCALITY:		MONARCH GLEN	LOCAL GOVERNMENT: LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	
11731 S 15 AD A_11306	



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MONARCH GLEN

PRECINCT 101.03

NOTES

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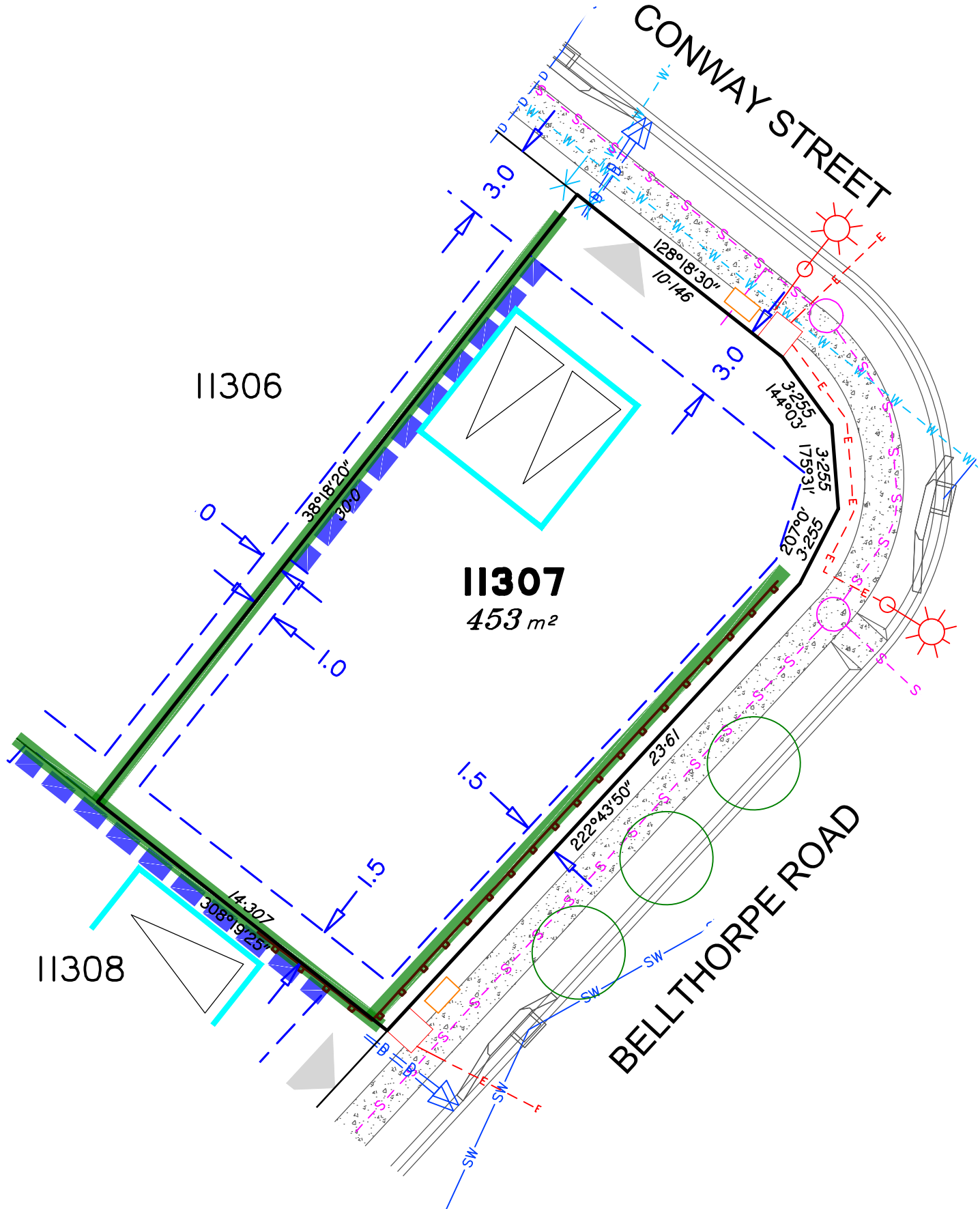
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11307 ON SP357520

DESCRIBED AS:

PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE:

51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11307



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MONARCH GLEN

PRECINCT 101.03

NOTES

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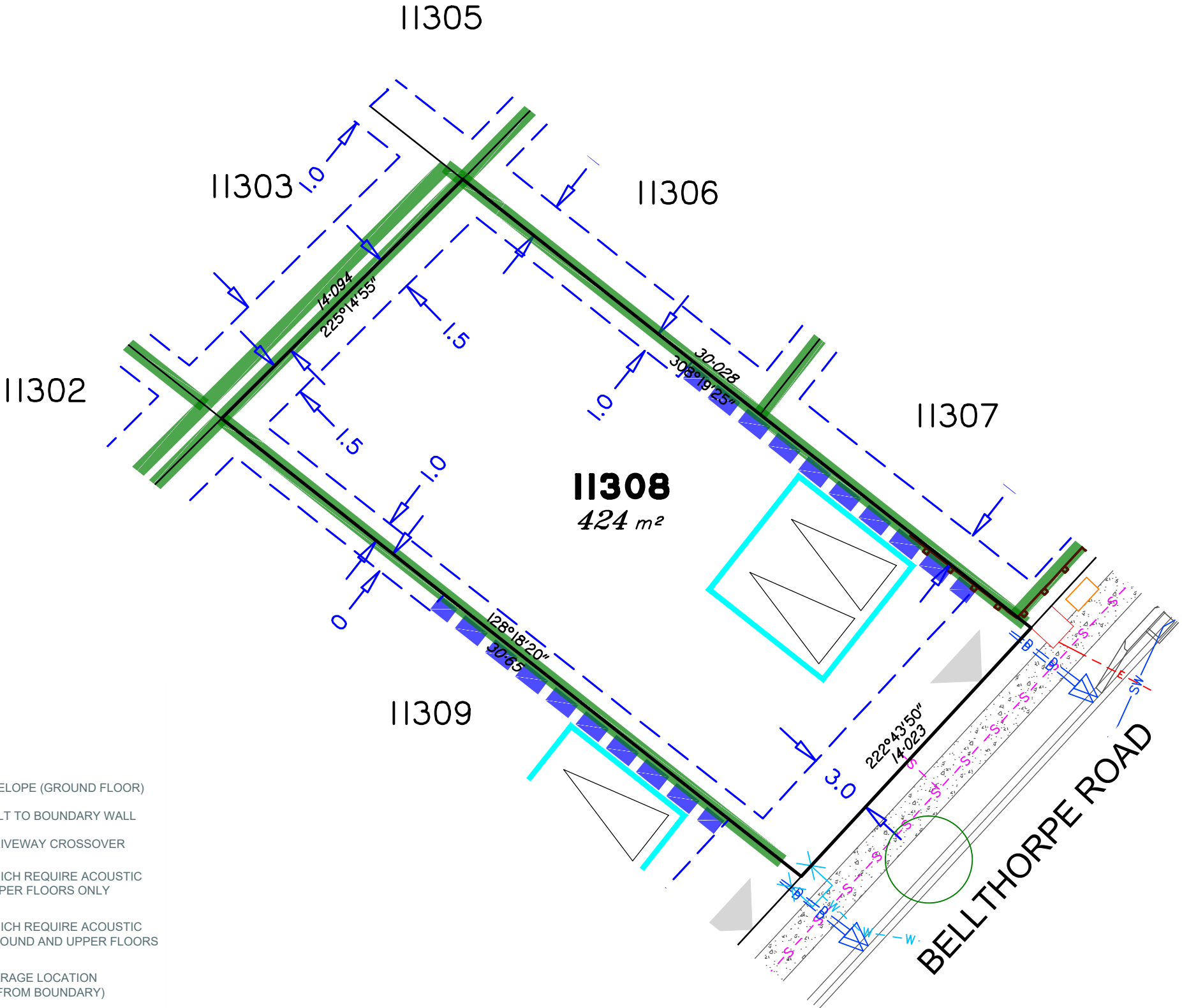
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11308 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11308



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MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

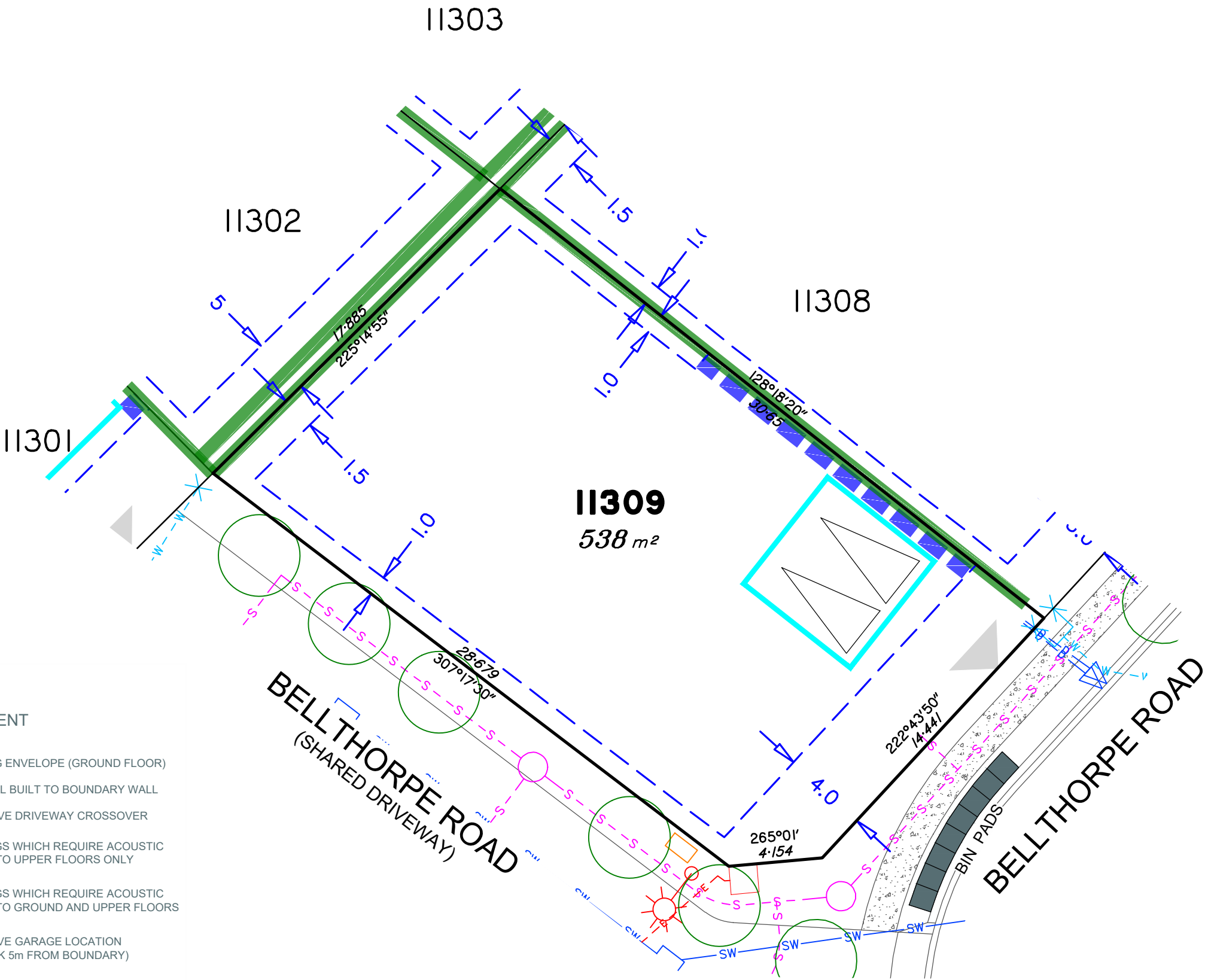
D

W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE

PLAN OF DEVELOPMENT

-
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED TG			

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11309 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11309



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MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

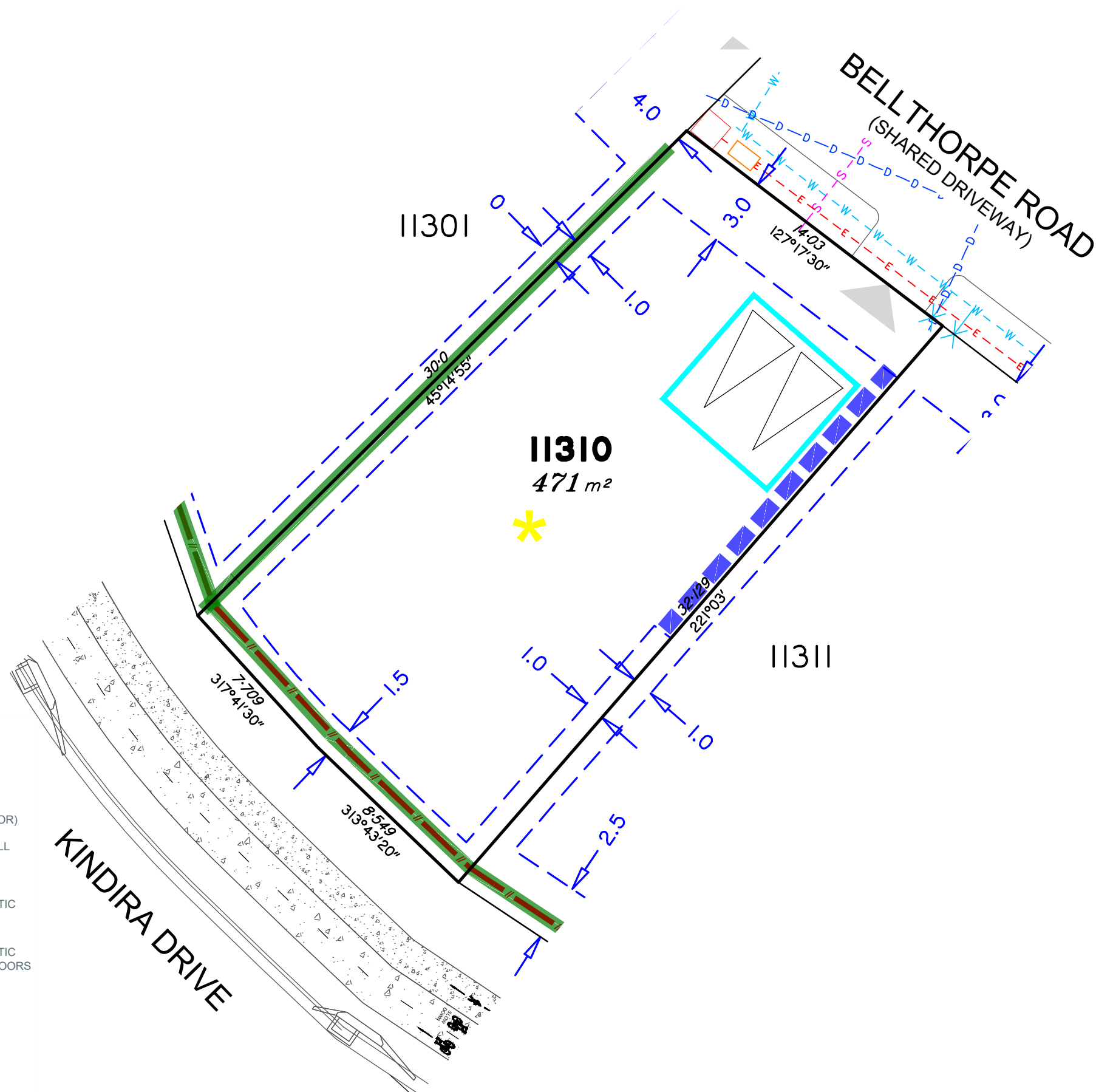
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE
1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m' at the top. The bar represents a total length of 5 meters.

PLAN OF	
PROPOSED LOT 11310 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11310



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MONARCH GLEN

PRECINCT 101.03

NOTES

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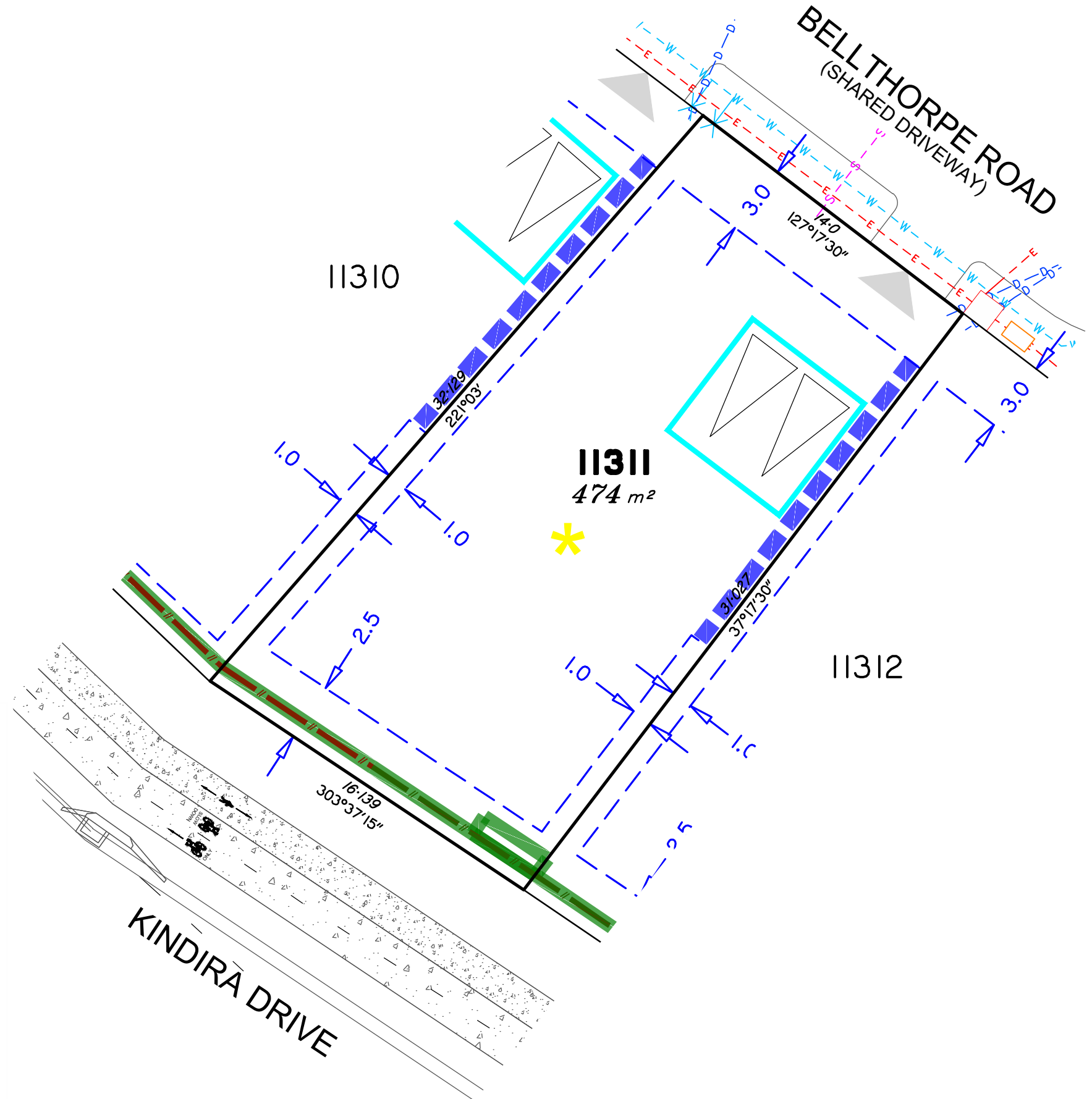
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2

1:200



| PLAN OF

PROPOSED LOT 11311 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE:	51370117
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LOCALITY:	MONARCH GLEN
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LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

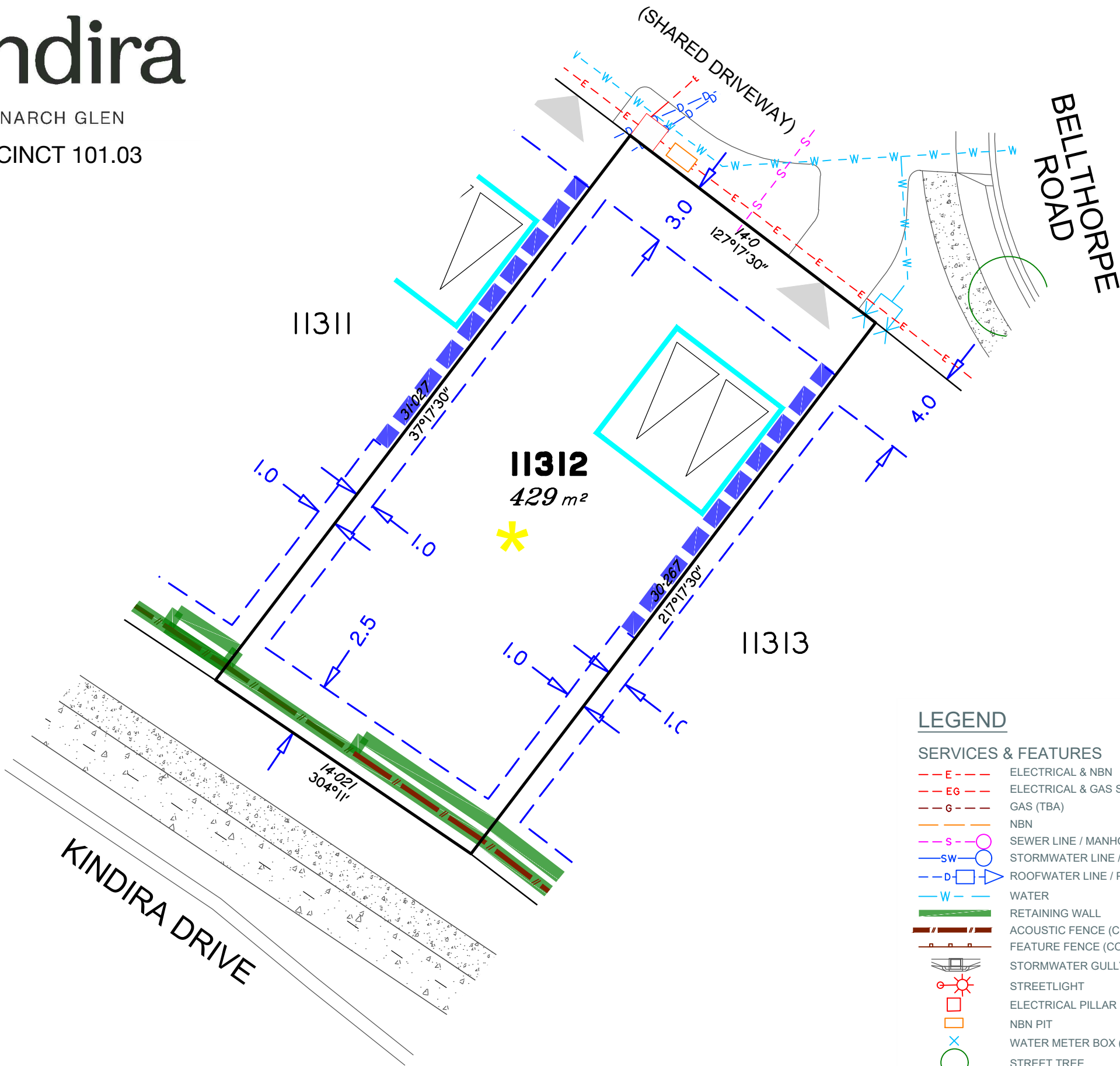
	DRAWING NO.
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11731 S 15 AD A 11311



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MONARCH GLEN
PRECINCT 101.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL & NBN
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
- S --- SEWER LINE / MANHOLE
- SW --- STORMWATER LINE / MANHOLE
- D --- ROOFWATER LINE / PIT / KERB ADAPTOR
- W --- WATER
- RETAINING WALL --- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) --- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT --- STORMWATER GULLY PIT
- STREETLIGHT --- STREETLIGHT
- ELECTRICAL PILLAR --- ELECTRICAL PILLAR
- NBN PIT --- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11312 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11312



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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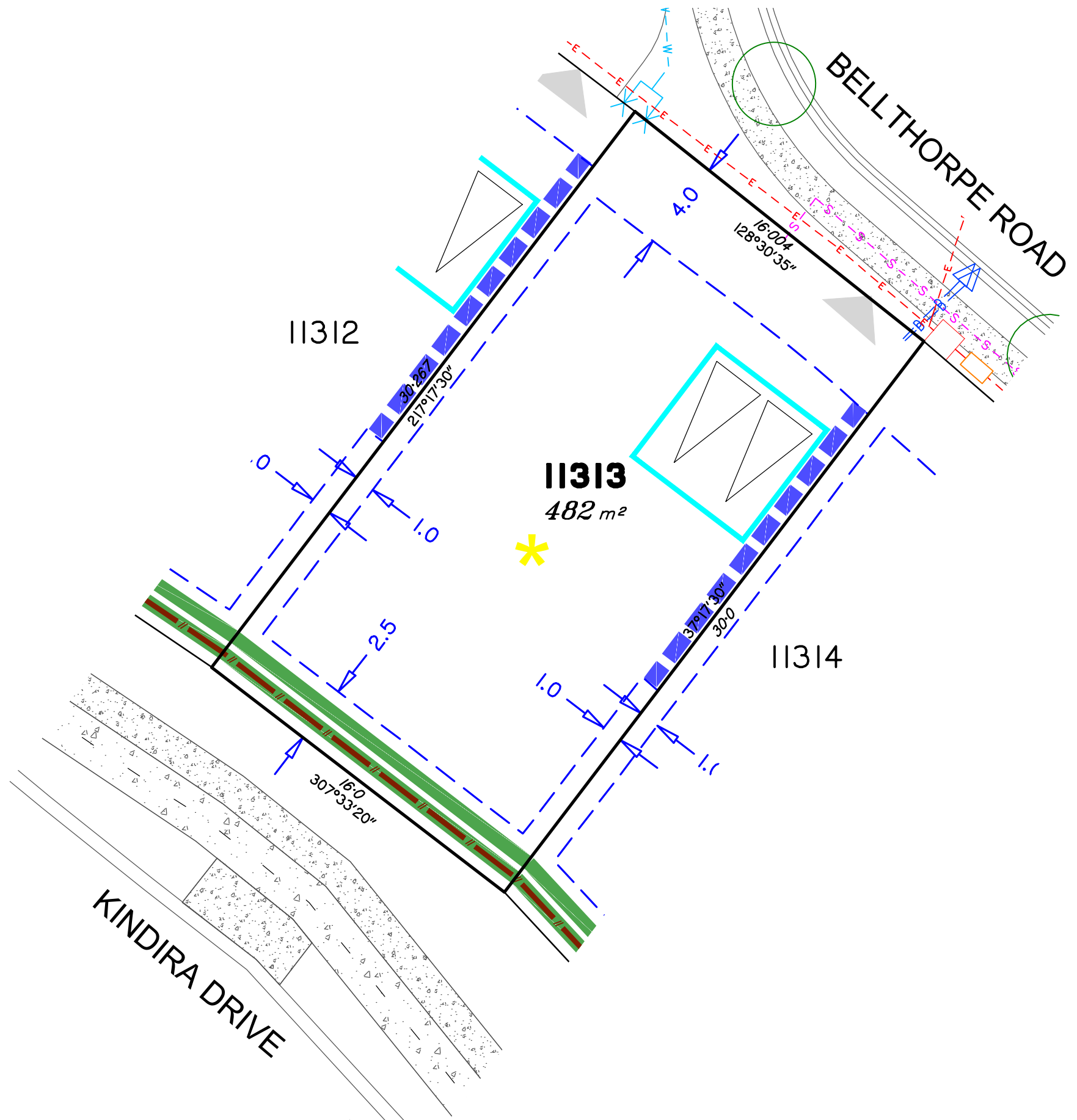
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE
1:200

A horizontal scale bar with vertical tick marks. The numbers 0, 1, 2, and 5 are placed above the first, second, third, and fourth major tick marks respectively. The bar is divided into segments of varying lengths, with the final segment (between 2 and 5) being significantly longer than the others.

PLAN OF

PROPOSED LOT 11313 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE:	51370117
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LOCALITY: MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11313



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MONARCH GLEN

PRECINCT 101.03

NOTES

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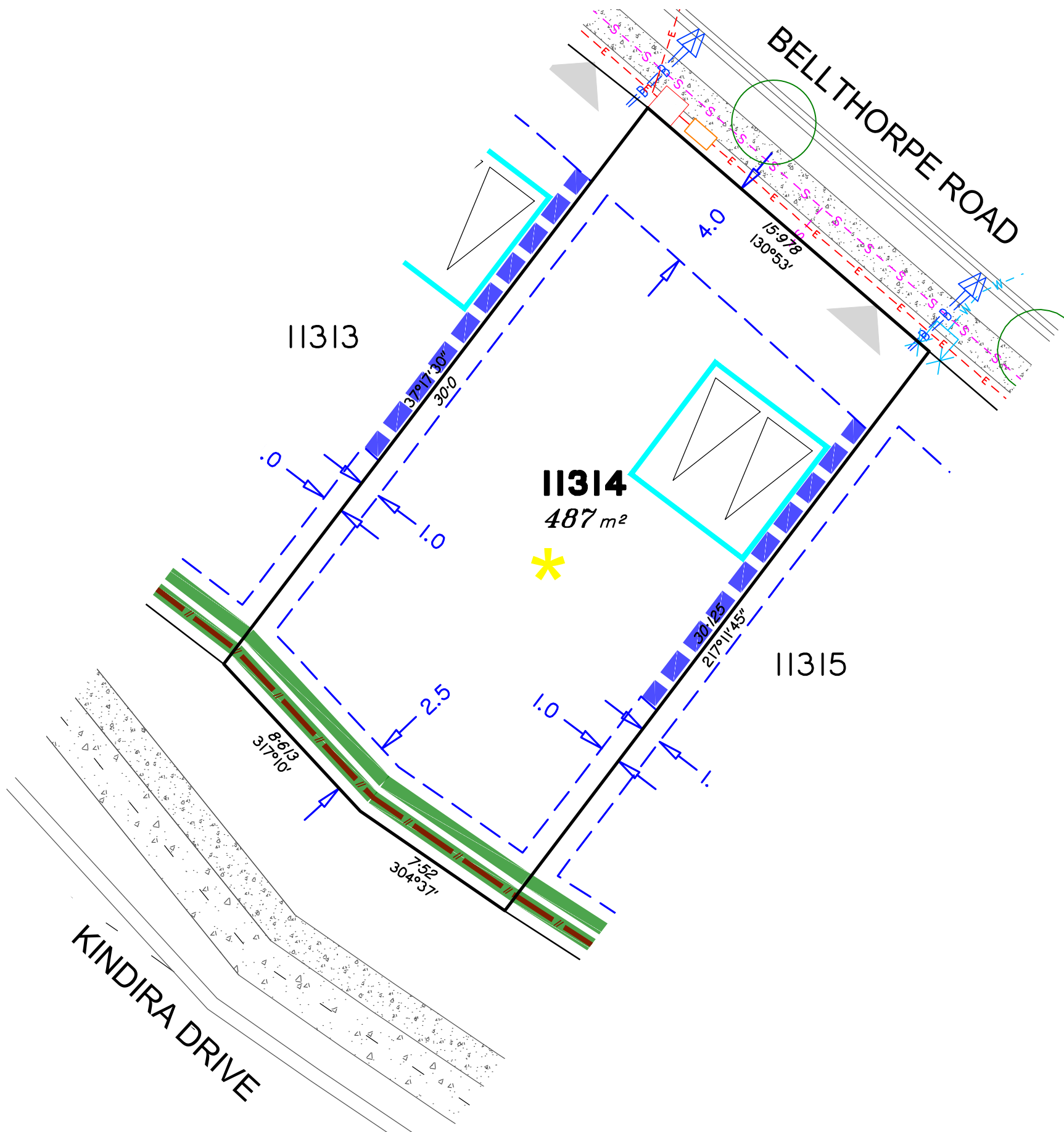
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11314 ON SP357520

DESCRIBED AS:

PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE

51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11314



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MONARCH GLEN

PRECINCT 101.03

NOTES

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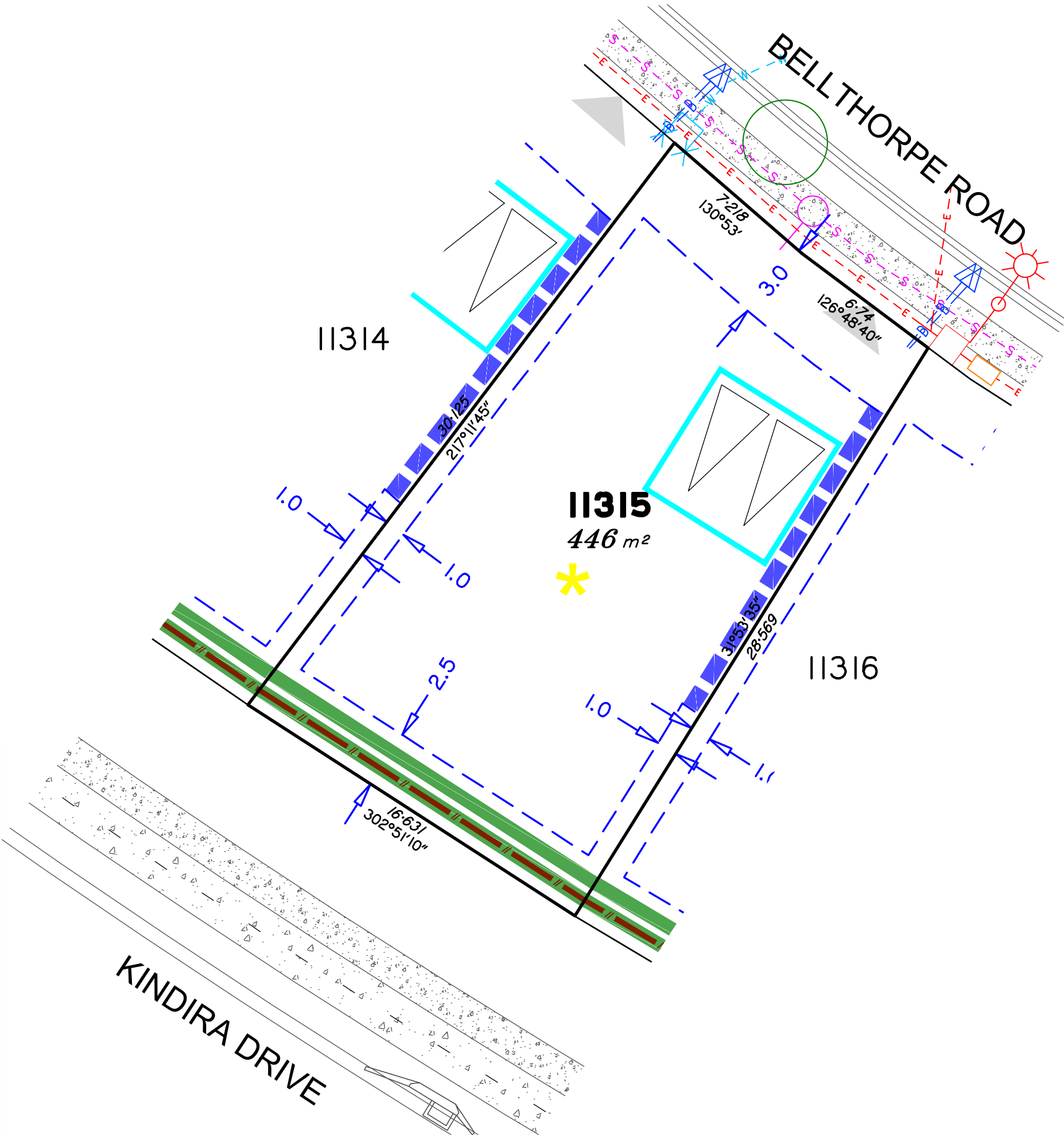
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11315 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11315



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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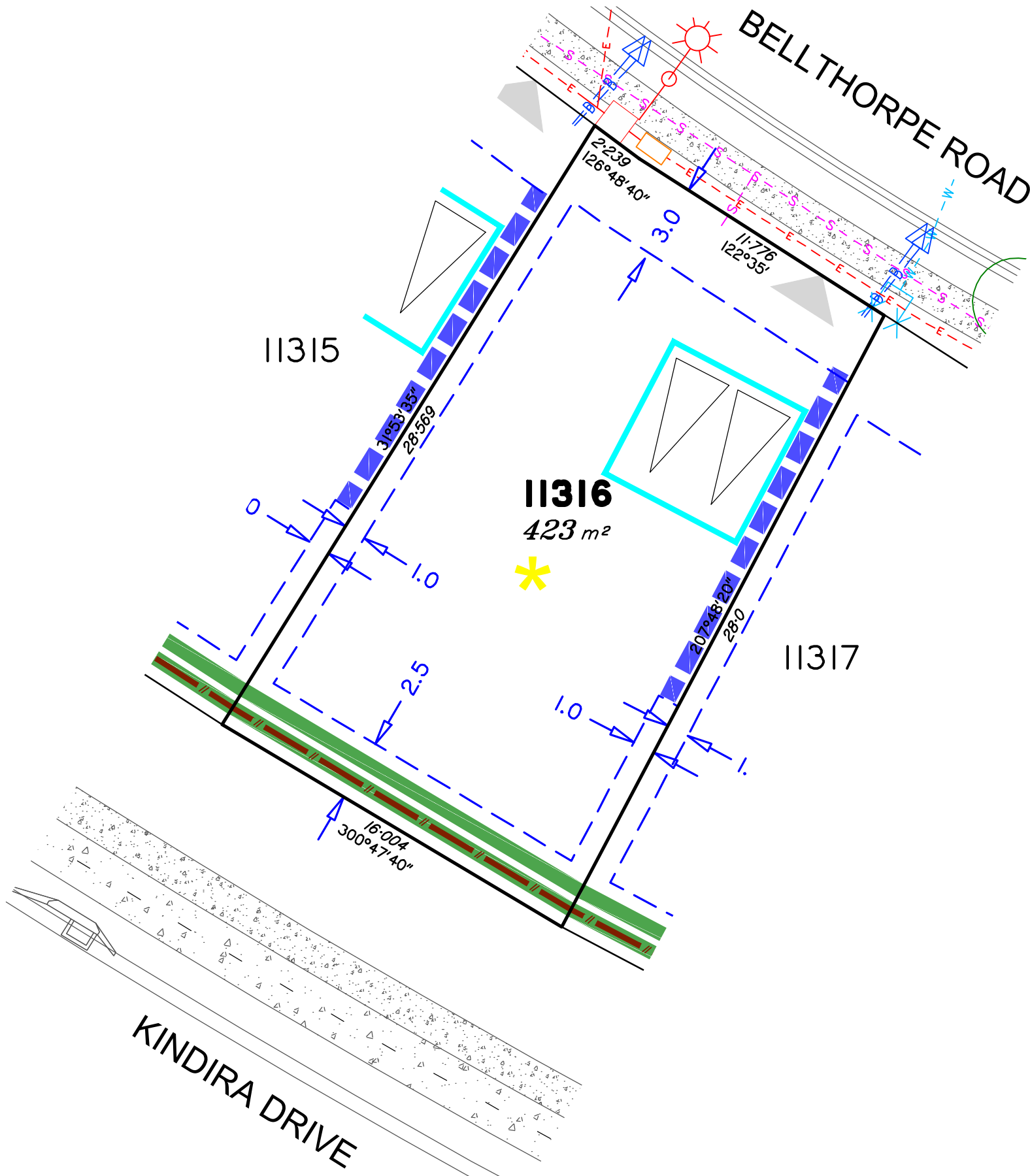
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11316 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11316



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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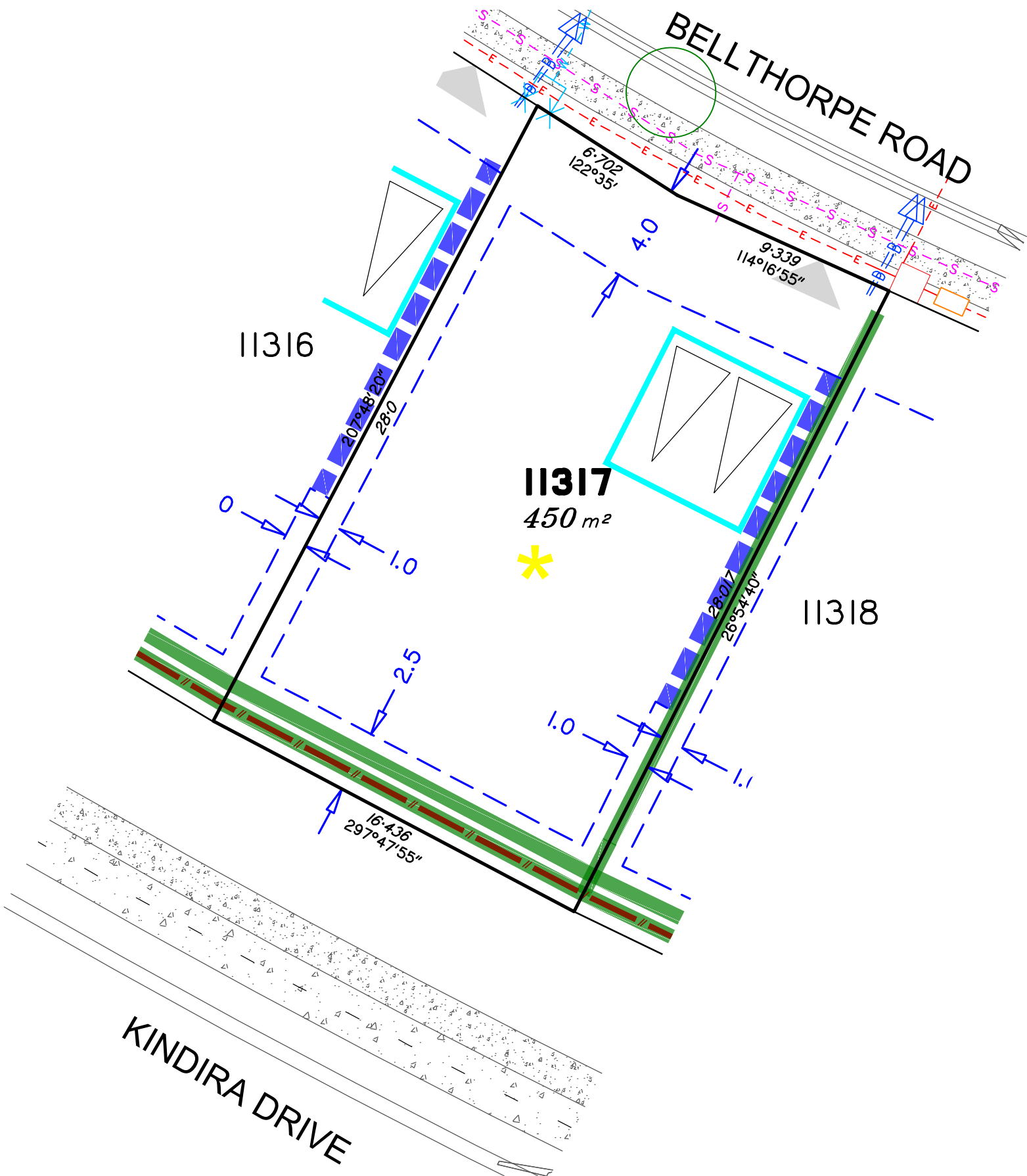
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m' at the top. Below the bar, the text '1:200' is printed.

PLAN OF

PROPOSED LOT 11317 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11317



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

EG

G

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
- NBN

NBN
- S

SW

D

W
- SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER

Retaining Wall

Acoustic Fence (Constructed by Mirvac)

Feature Fence (Constructed by Mirvac)

Stormwater Gully Pit

Streetlight

Electrical Pillar

NBN Pit

Water Meter Box (Meter by Owner/Builder)

Street Tree

PLAN OF DEVELOPMENT

- Building Envelope (Ground Floor)

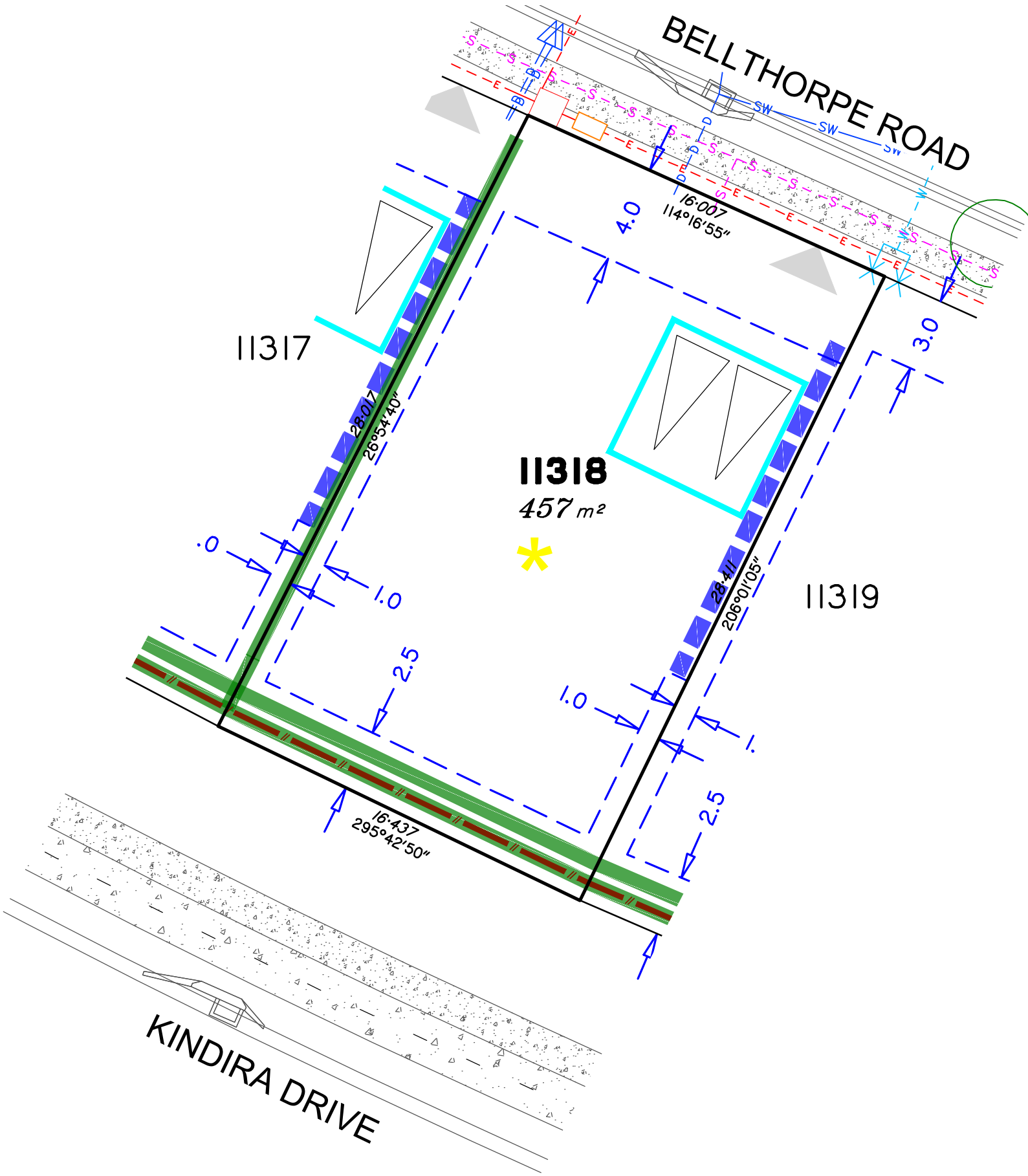
Optional Built to Boundary Wall

Indicative Driveway Crossover

Buildings Which Require Acoustic Design to Upper Floors Only

Buildings Which Require Acoustic Design to Ground and Upper Floors

Indicative Garage Location (Setback 5m from Boundary)



ISSUES				CHECKED TG
NO.	DRAWN TG	DATE	DESCRIPTION ORIGINAL ISSUE	
A		06.05.2026		

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11318 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11318



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MONARCH GLEN

PRECINCT 101.03

NOTES

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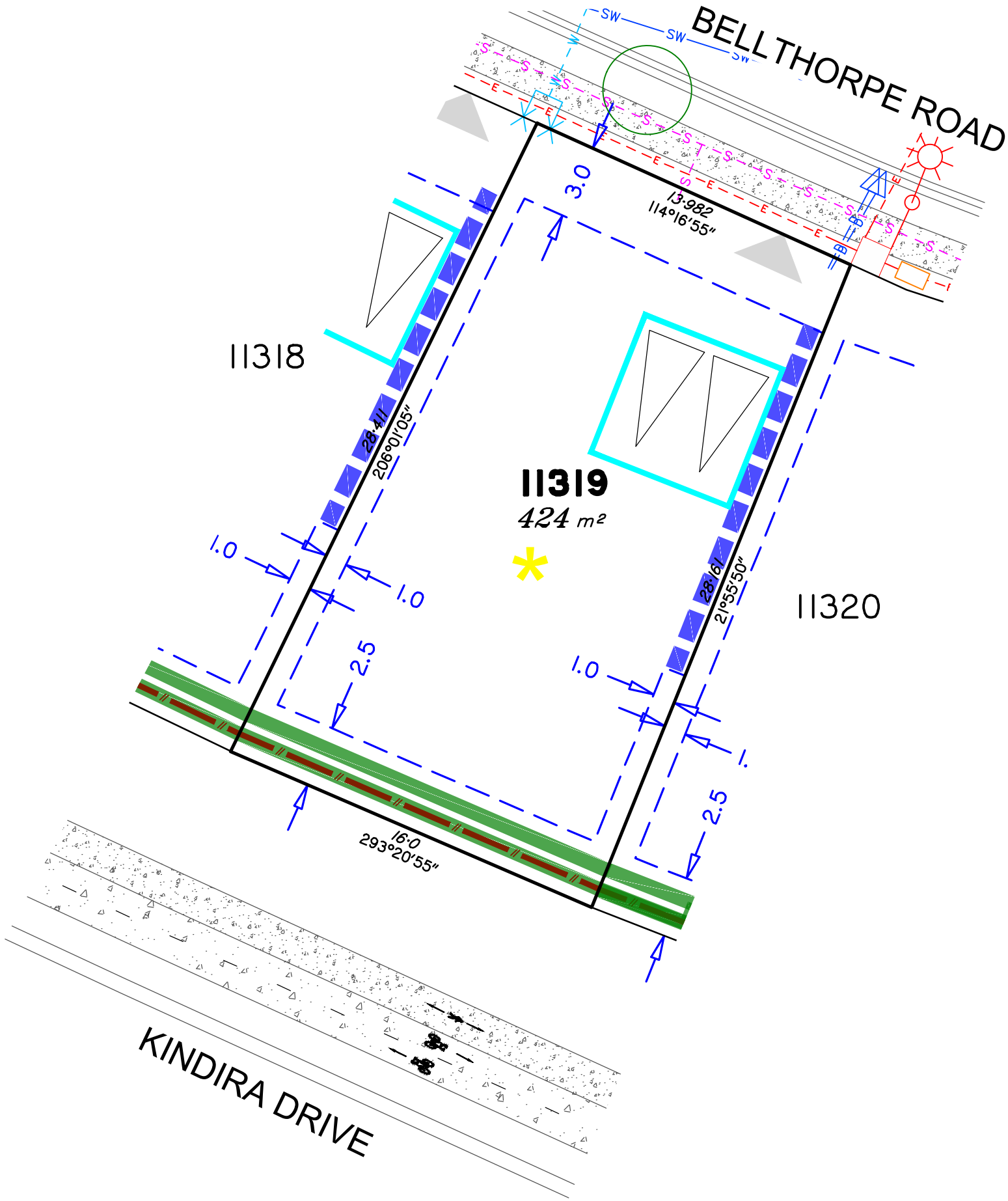
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11319 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11319



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

- ELECTRICAL & NBN
- EG

- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G

- GAS (TBA)
- NBN

- NBN
- S

- SEWER LINE / MANHOLE
- SW

- STORMWATER LINE / MANHOLE
- D

- ROOFWATER LINE / PIT / KERB ADAPTOR
- W

- WATER
- ---

- RETAINING WALL
- ---

- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- ---

- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- ---

- STORMWATER GULLY PIT
- ---

- STREETLIGHT
- ---

- ELECTRICAL PILLAR
- ---

- NBN PIT
- ---

- WATER METER BOX (METER BY OWNER/BUILDER)
- ---

- STREET TREE

PLAN OF DEVELOPMENT

- ---

- BUILDING ENVELOPE (GROUND FLOOR)
- ---

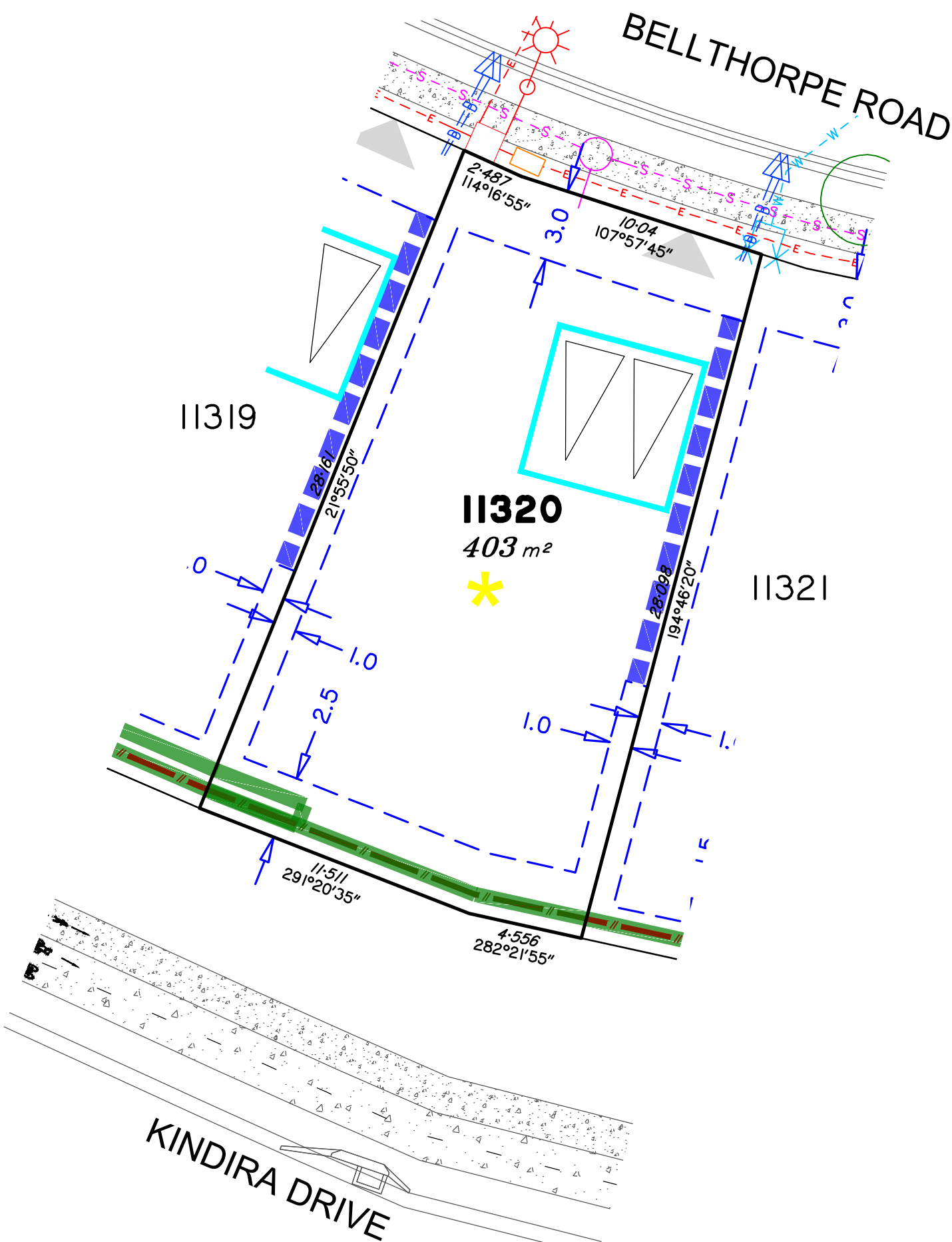
- OPTIONAL BUILT TO BOUNDARY WALL
- ---

- INDICATIVE DRIVEWAY CROSSOVER
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- ---

- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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PLAN OF	
PROPOSED LOT 11320 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11320



Kindira

MONARCH GLEN

PRECINCT 101.03

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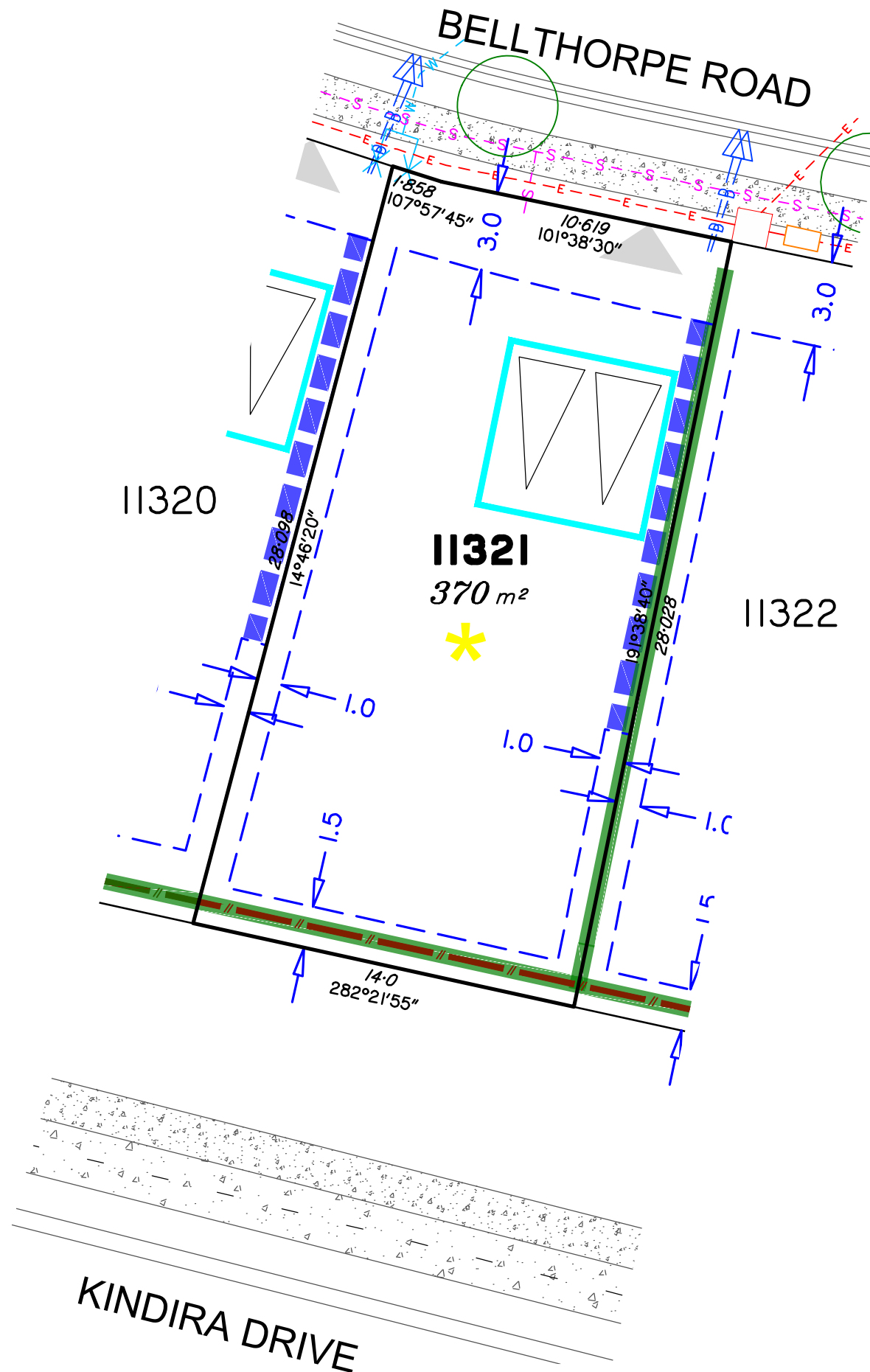
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE
1:200

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 1, 2, and 5. The segment between 0 and 1 is divided into two equal parts by a tick mark. The segment between 1 and 2 is divided into four equal parts by three tick marks. The segment between 2 and 5 is divided into five equal parts by four tick marks.

| PLAN OF

PROPOSED LOT 11321 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY:
MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11321



Kindira

MONARCH GLEN

PRECINCT 101.03

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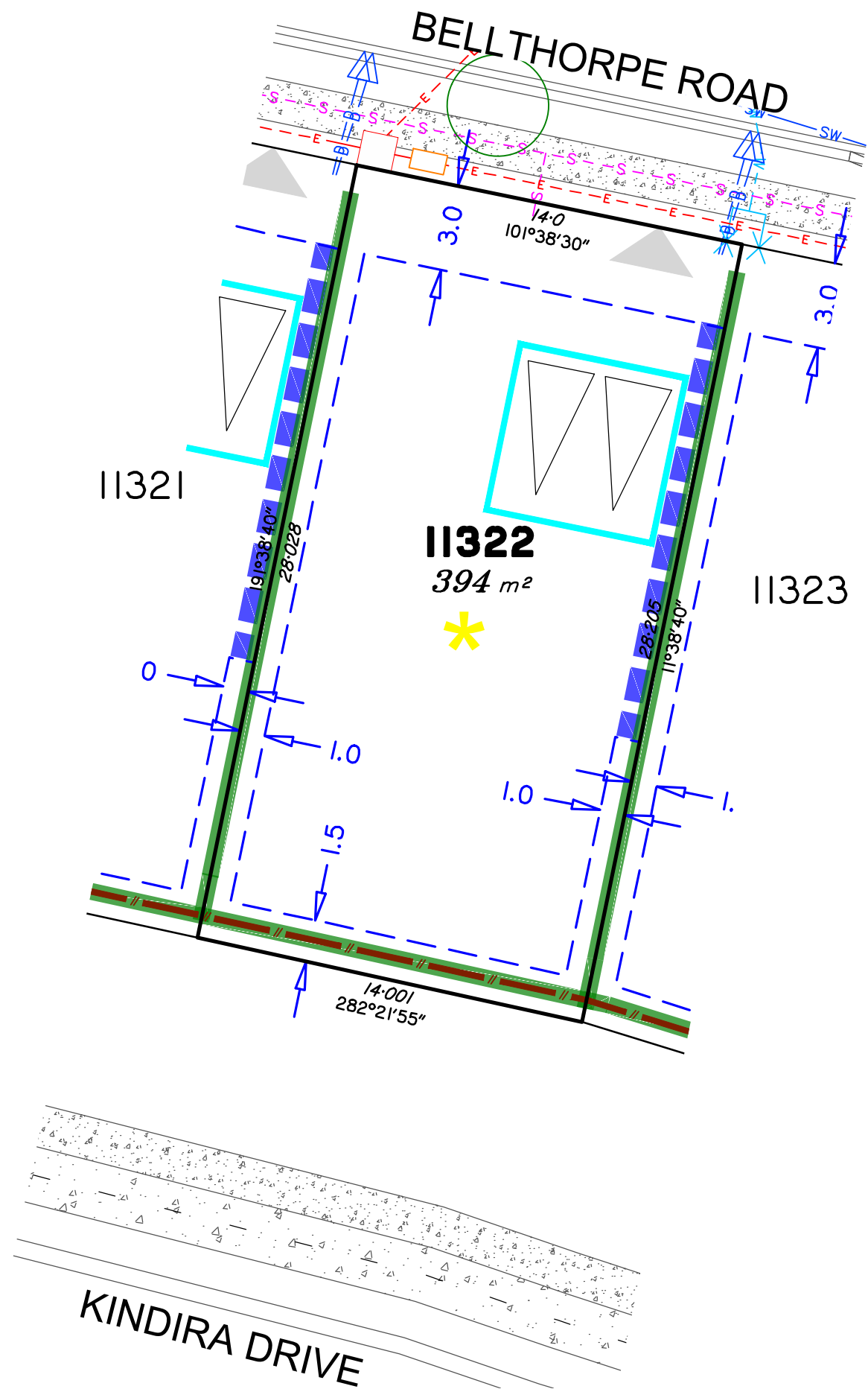
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE
1:200



A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m'.

| PLAN OF

PROPOSED LOT 11322 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY:
MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11322



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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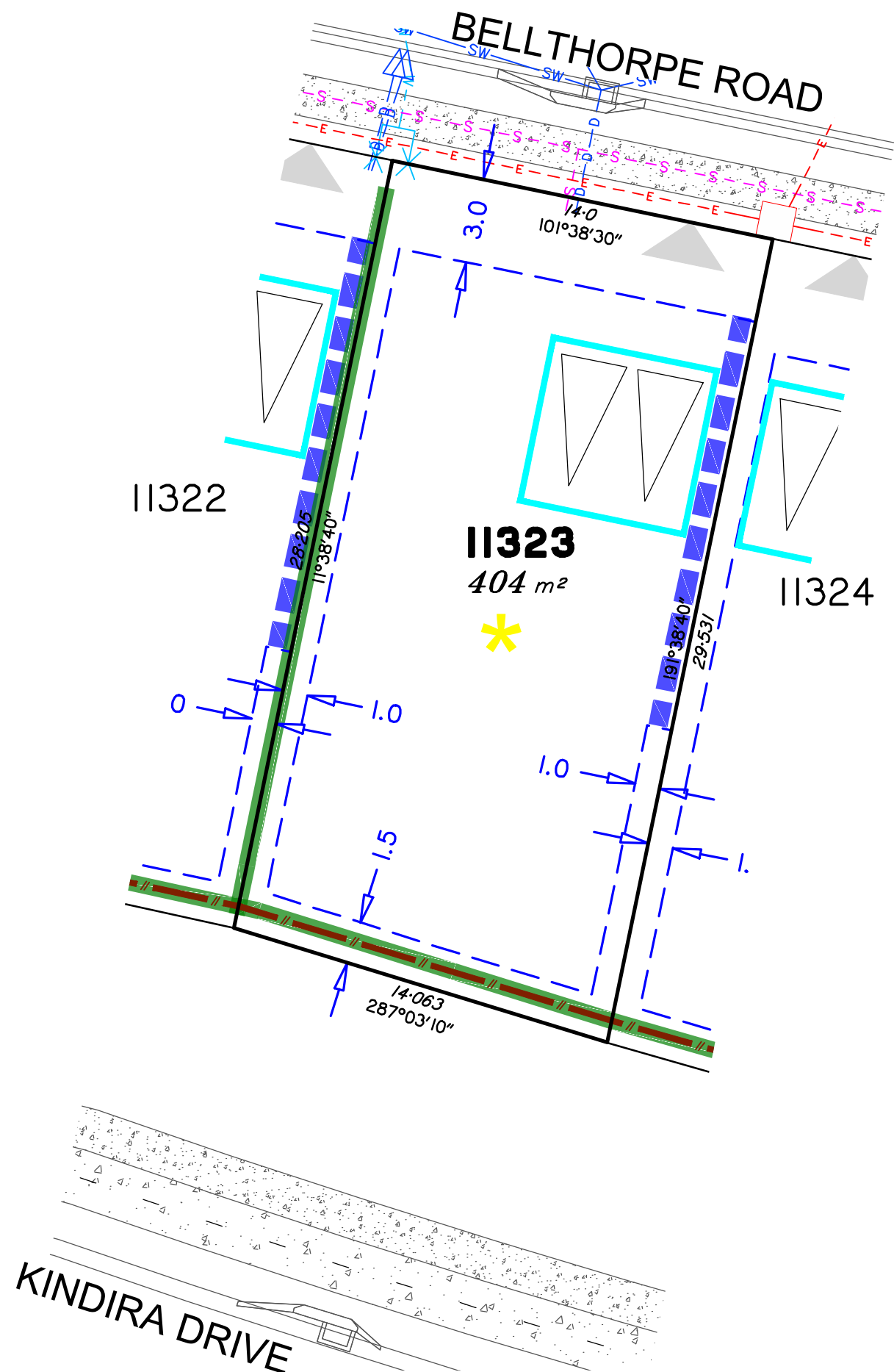
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL / NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11323 ON SP357520

DESCRIBED AS:

PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE:

51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11323



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

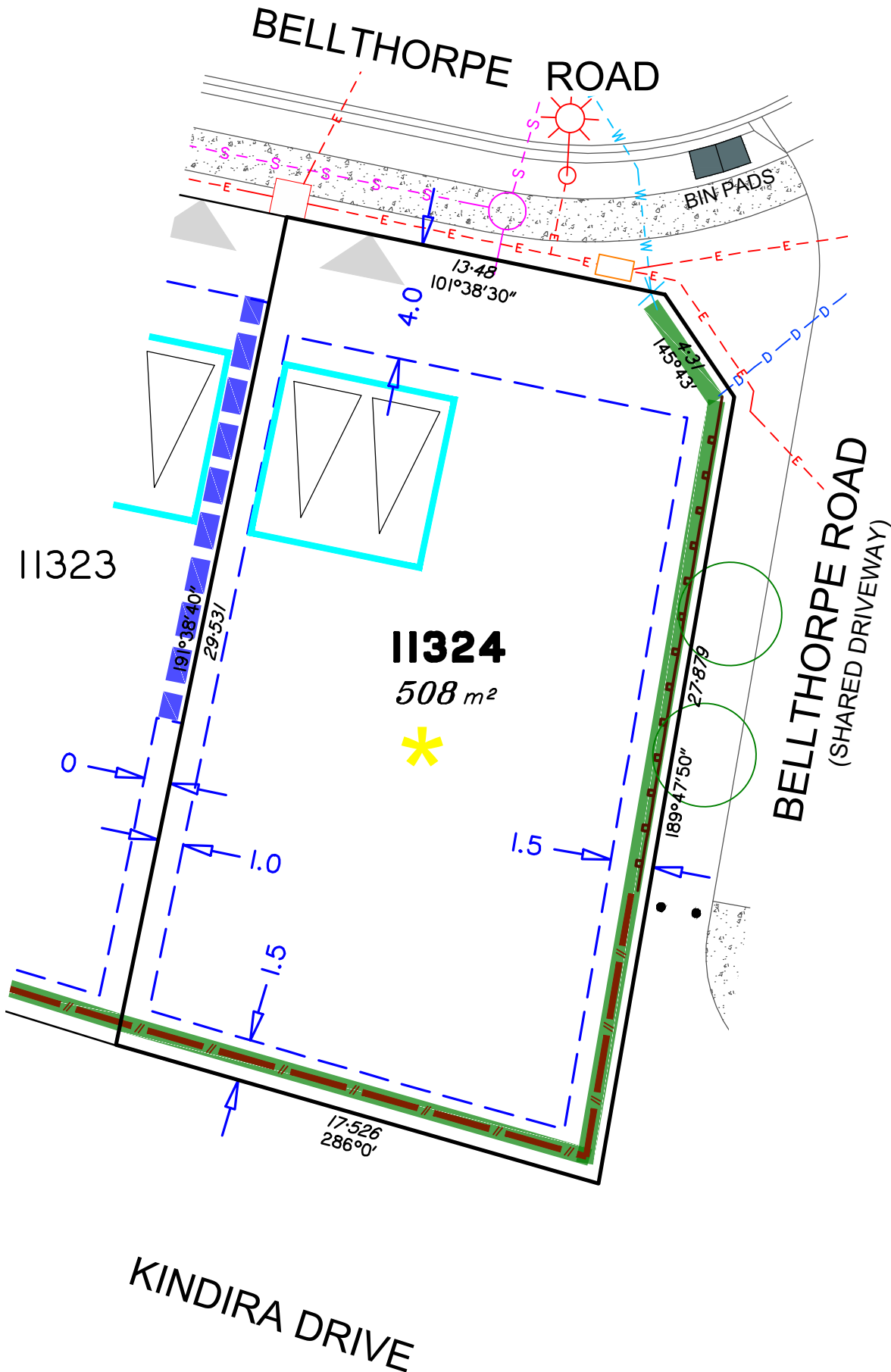
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11324 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER
FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11324



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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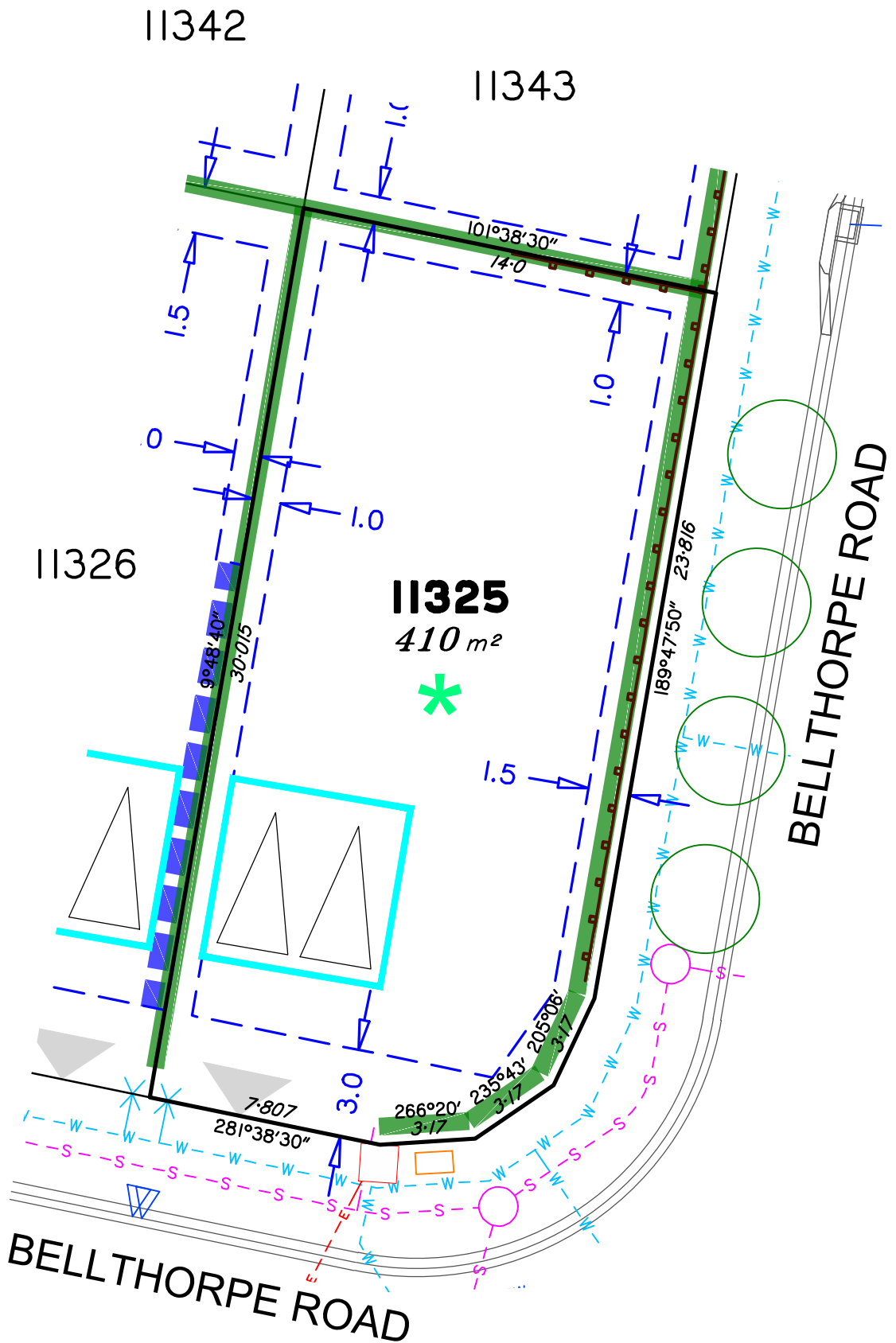
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11325 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A_11325



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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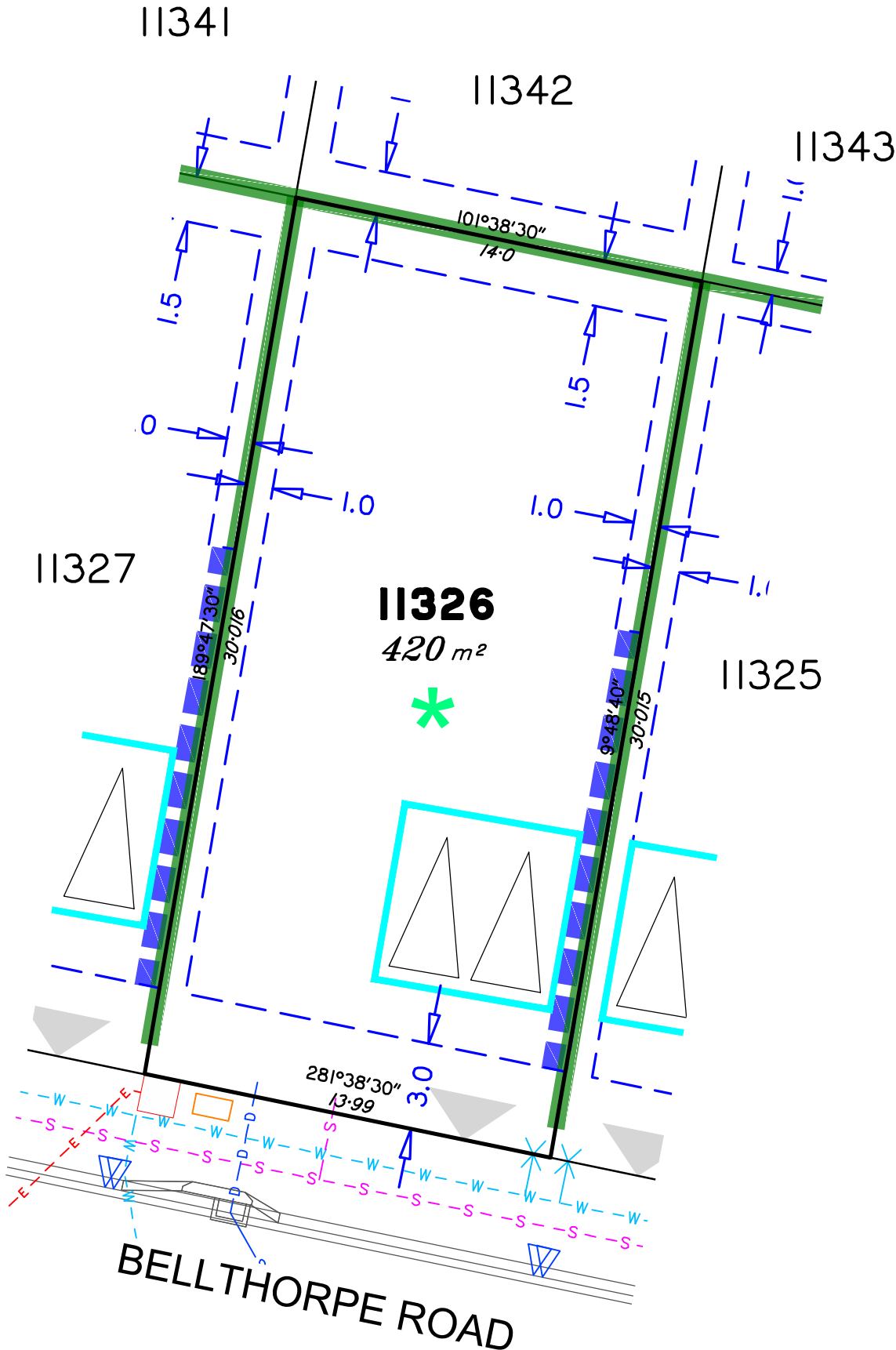
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11326 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER
FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11326



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MONARCH GLEN

PRECINCT 101.03

NOTES

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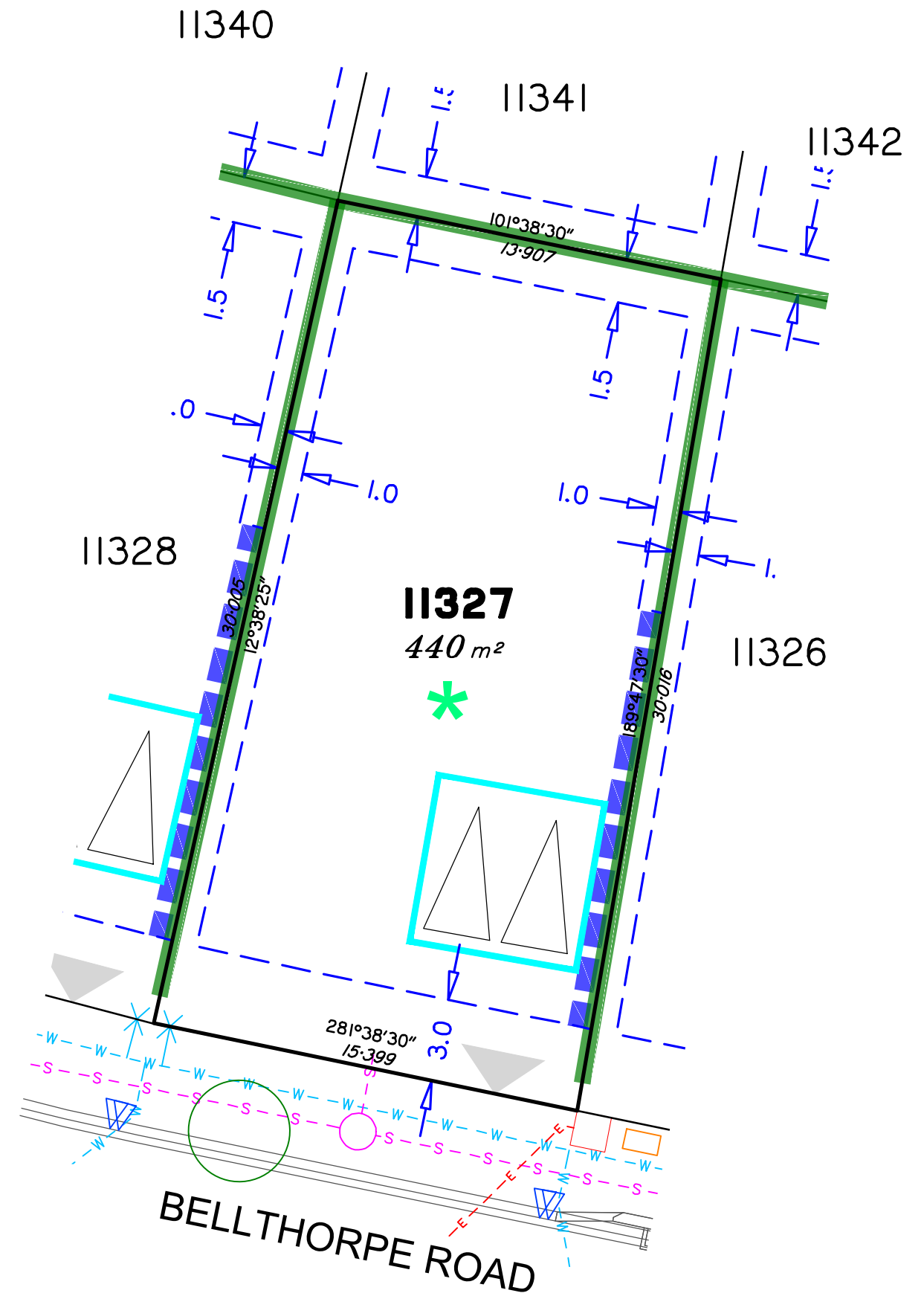
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', and '2' at regular intervals. Below the bar, the text '1:200' is printed.

PLAN OF	
PROPOSED LOT 11327 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A_11327



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MONARCH GLEN

PRECINCT 101.03

NOTES

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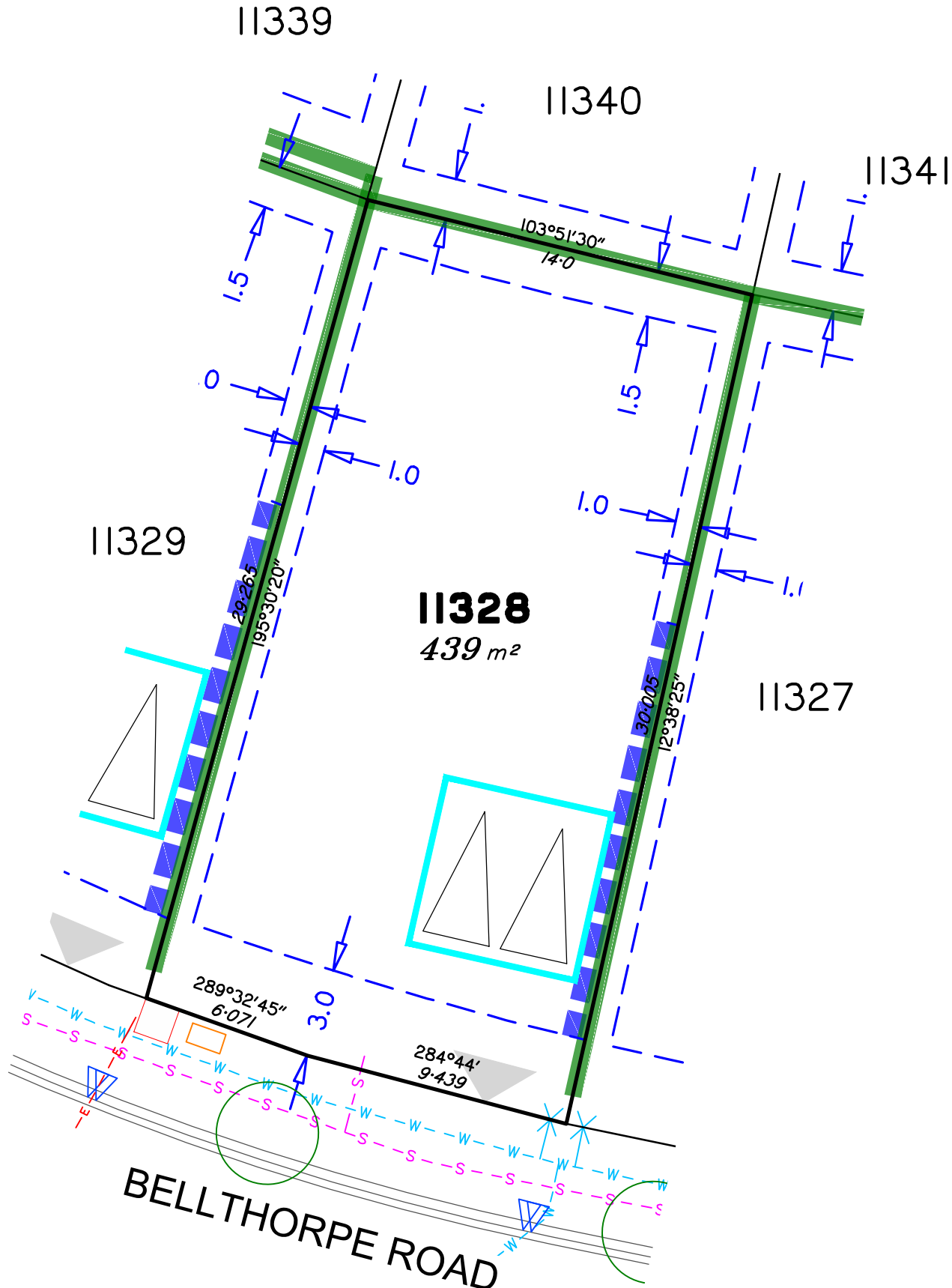
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11328 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11328



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MONARCH GLEN

PRECINCT 101.03

NOTES

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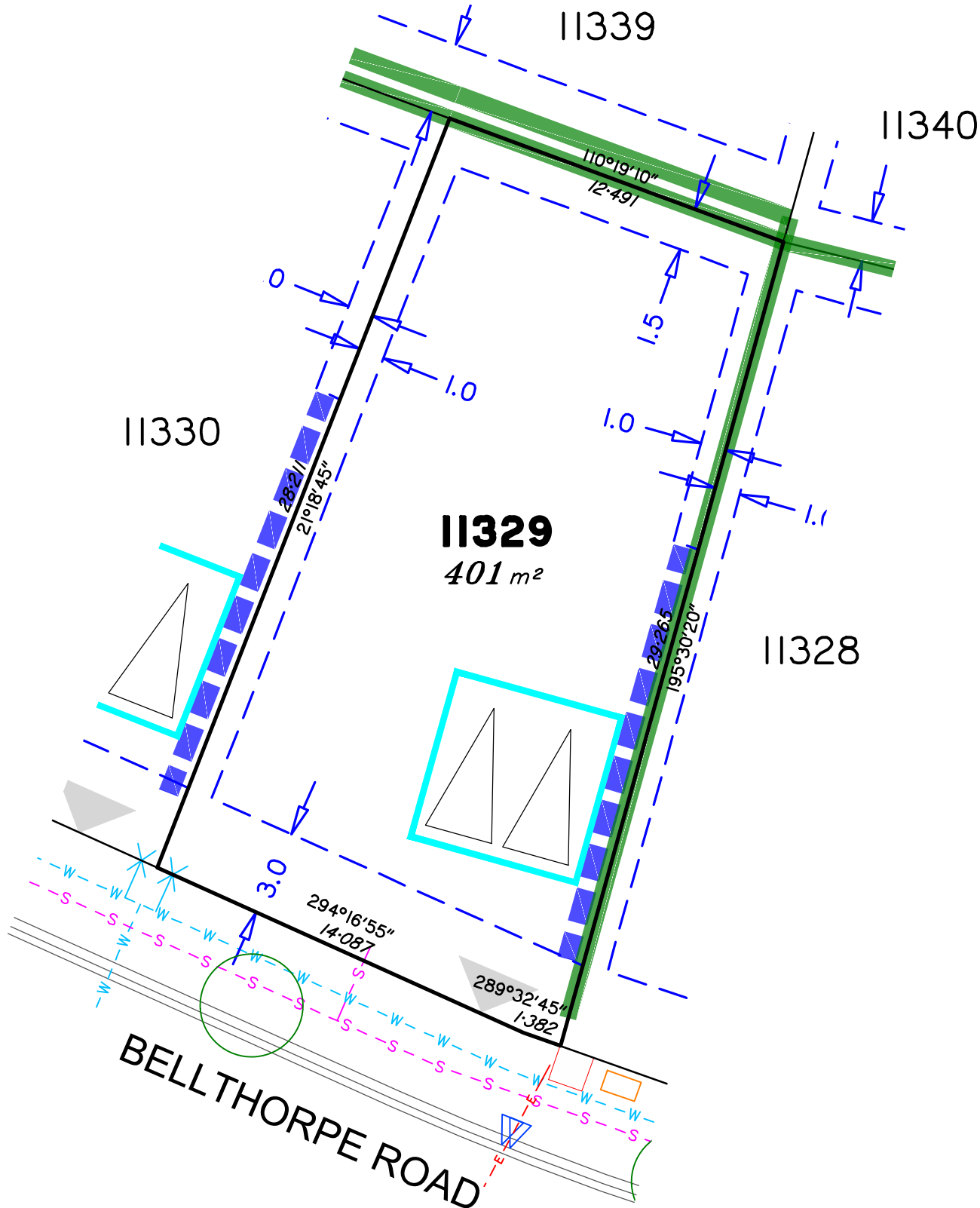
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11329 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A 11329



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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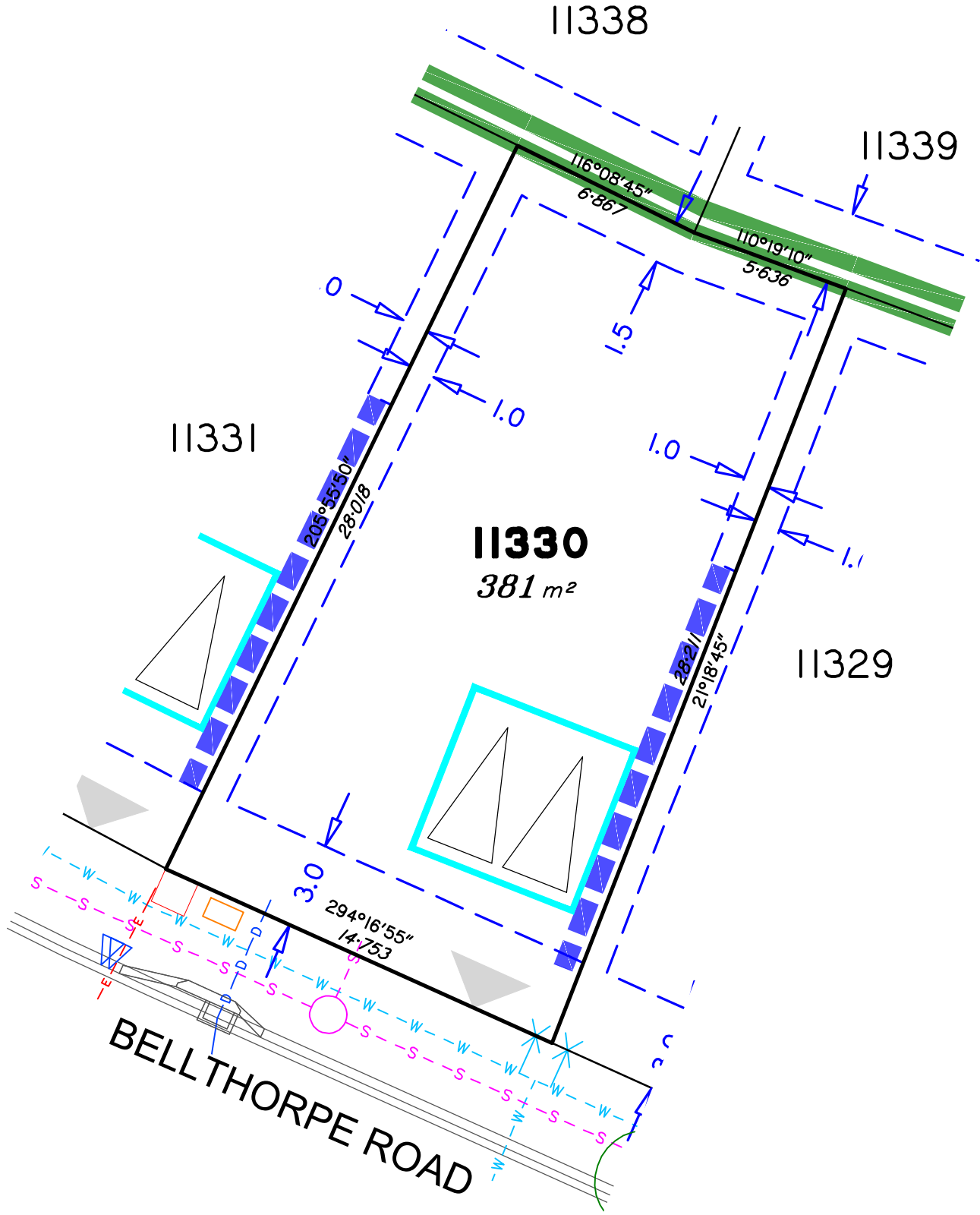
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11330 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11330



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIER'S CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

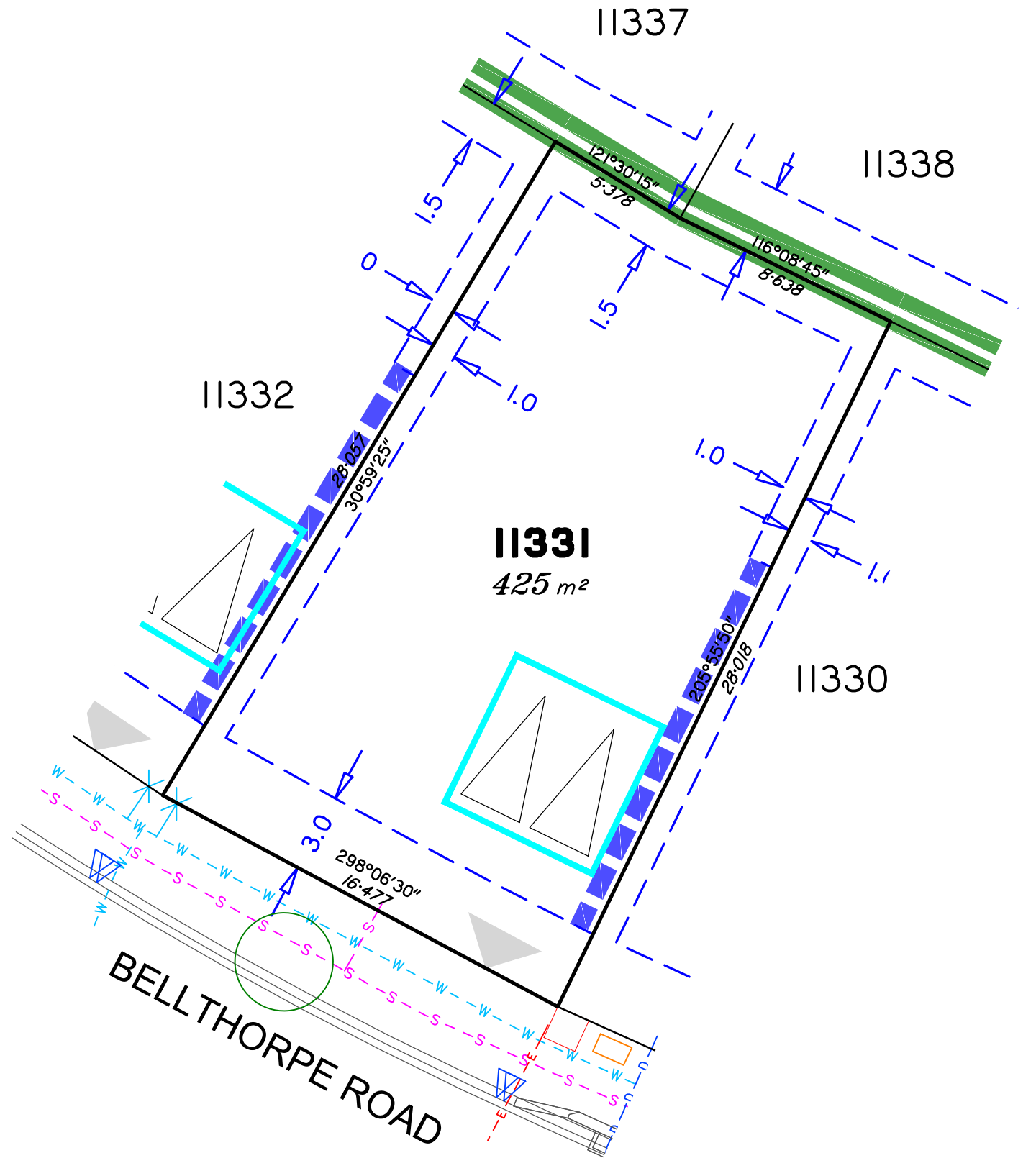
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

A horizontal scale bar with vertical tick marks at 0, 1, 2, and 5 meters. The text '1:200' is positioned below the bar.

PLAN OF	
PROPOSED LOT 11331 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11331



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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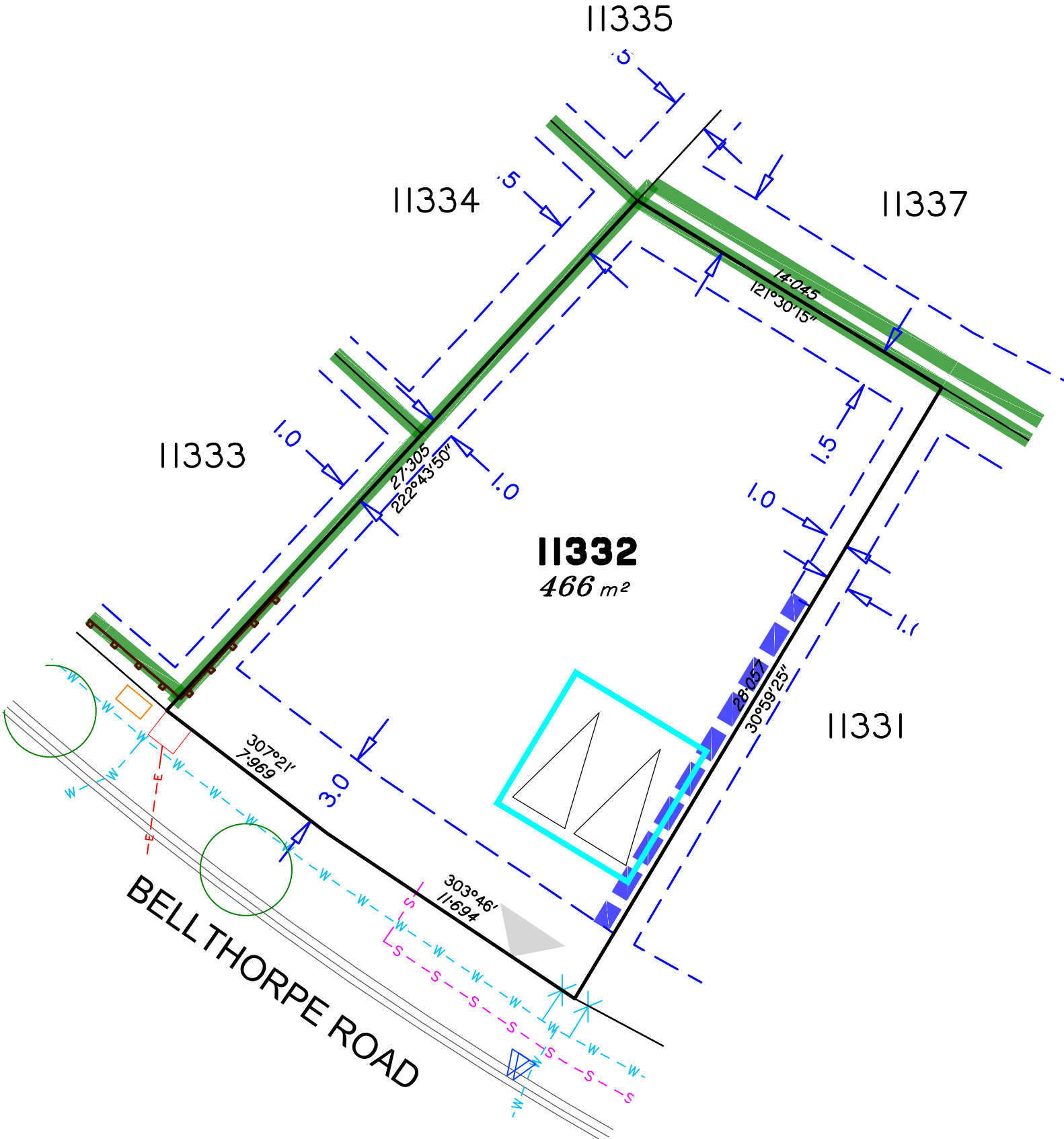
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECK
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11332 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER
FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11332



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MONARCH GLEN

PRECINCT 101.03

NOTES

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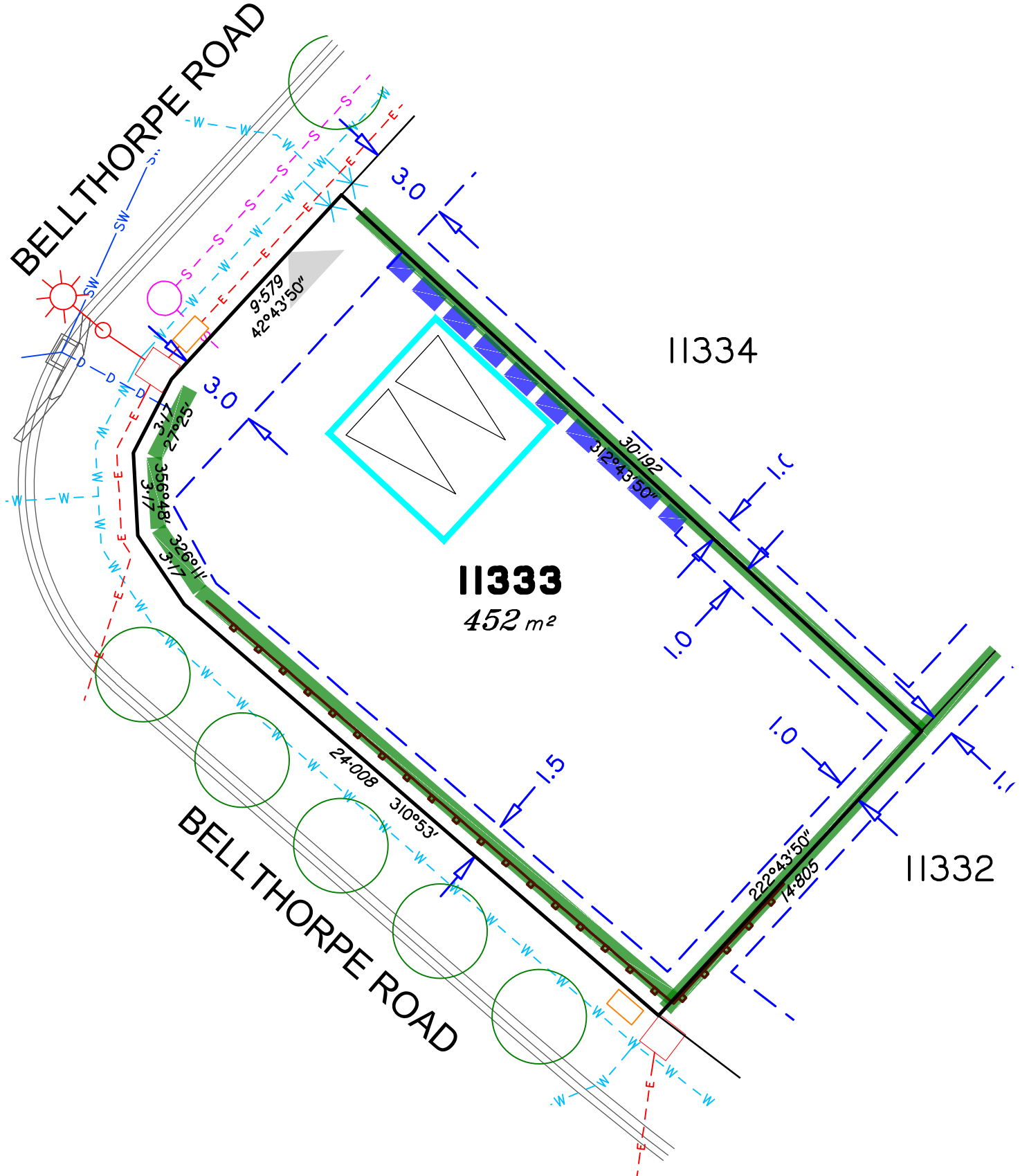
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11333 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A 11333



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MONARCH GLEN

PRECINCT 101.03

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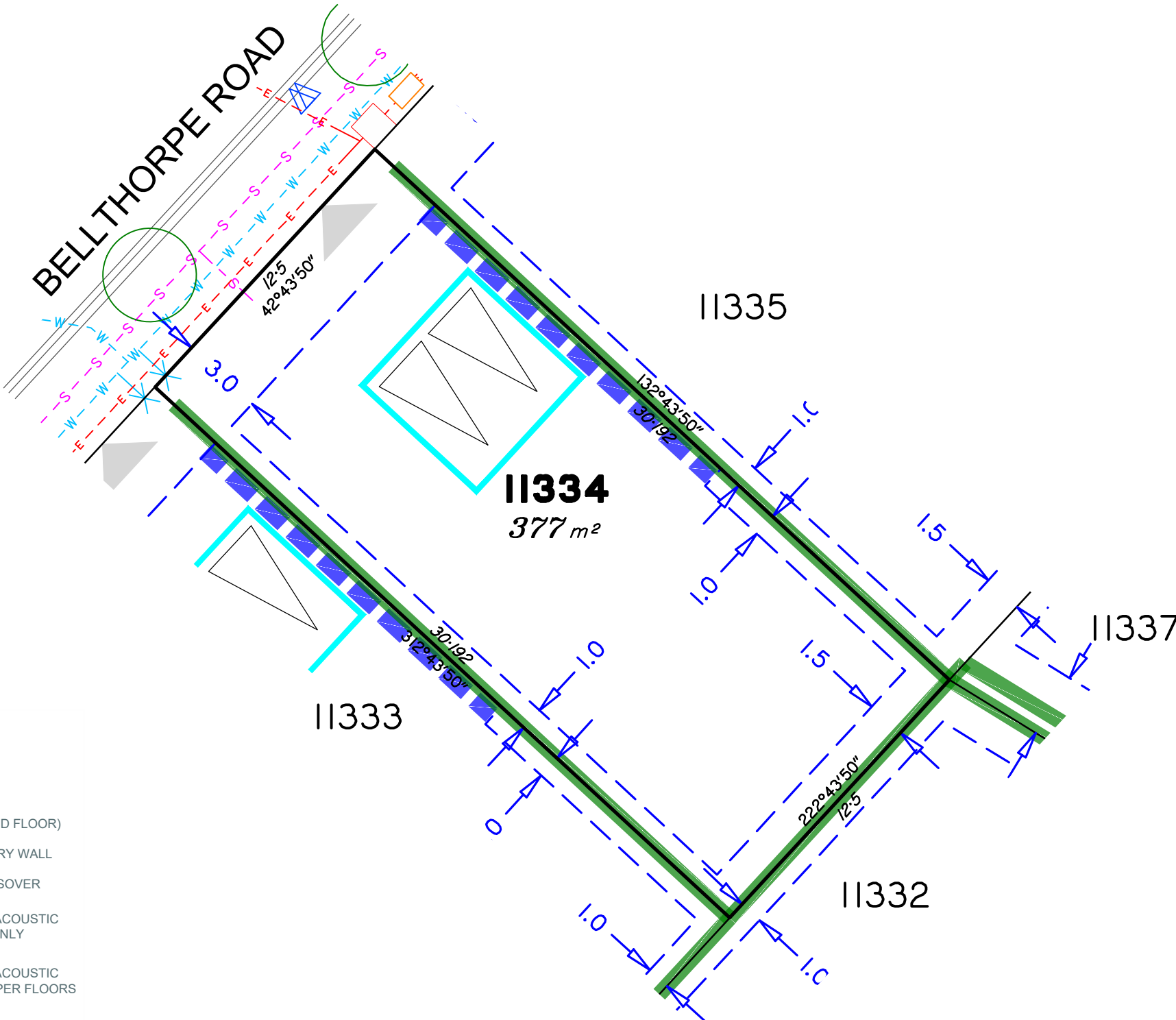
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL / NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11334 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11334



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MONARCH GLEN

PRECINCT 101.03

NOTES

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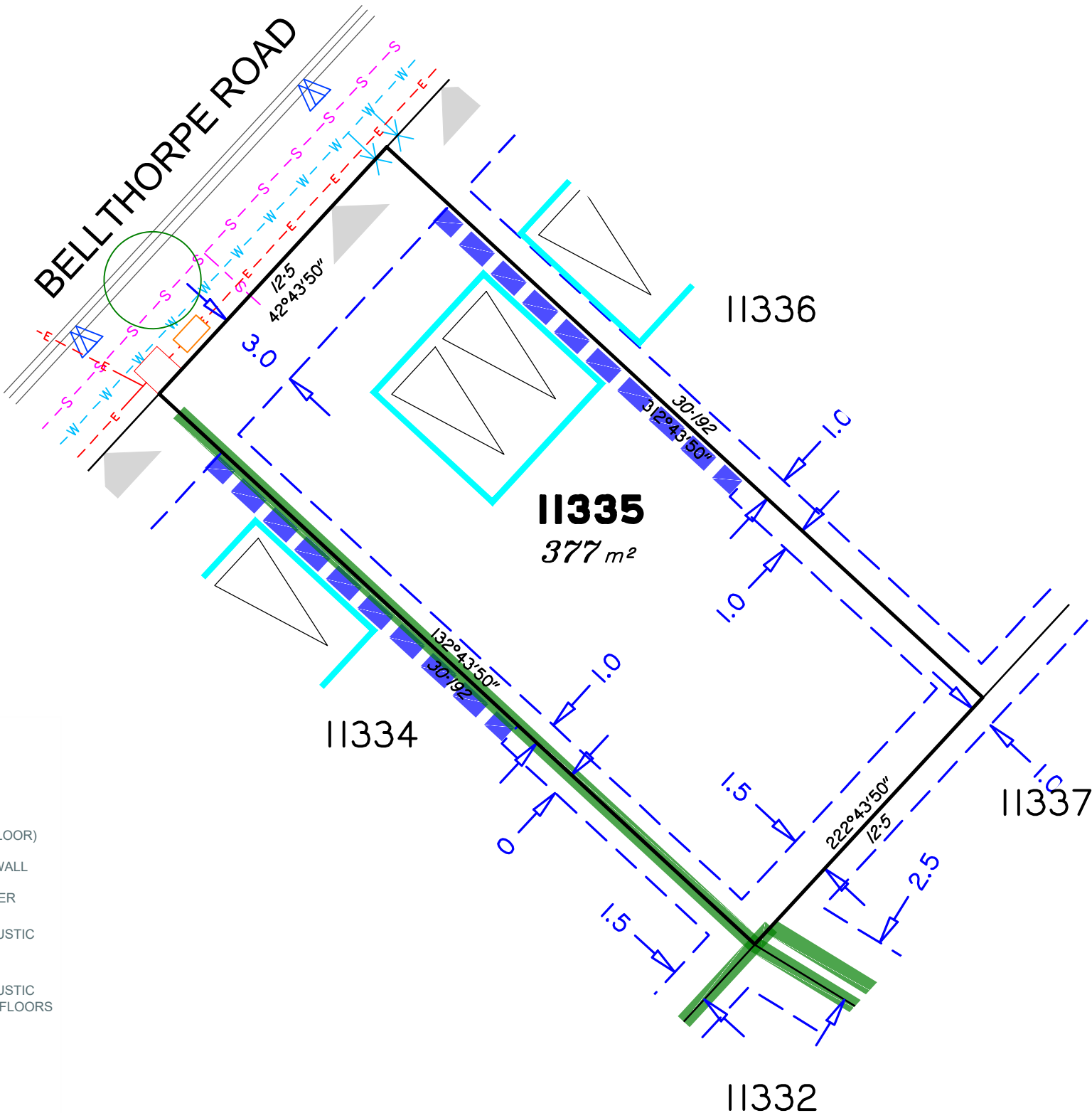
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0' at the left end, '1' at the first segment boundary, '2' at the second segment boundary, and '5m' at the right end. Below the bar, the text '1:200' is printed.

PLAN OF	
PROPOSED LOT 11335 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT: MONARCH GLEN LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11335



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MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

- ELECTRICAL & NBN
- EG

- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G

- GAS (TBA)
- NBN

- NBN
- S

- SEWER LINE / MANHOLE
- SW

- STORMWATER LINE / MANHOLE
- D

- ROOFWATER LINE / PIT / KERB ADAPTOR
- W

- WATER
- ---

- RETAINING WALL
- ---

- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- ---

- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- ---

- STORMWATER GULLY PIT
- ---

- STREETLIGHT
- ---

- ELECTRICAL PILLAR
- ---

- NBN PIT
- ---

- WATER METER BOX (METER BY OWNER/BUILDER)
- ---

- STREET TREE

PLAN OF DEVELOPMENT

- ---

- BUILDING ENVELOPE (GROUND FLOOR)
- ---

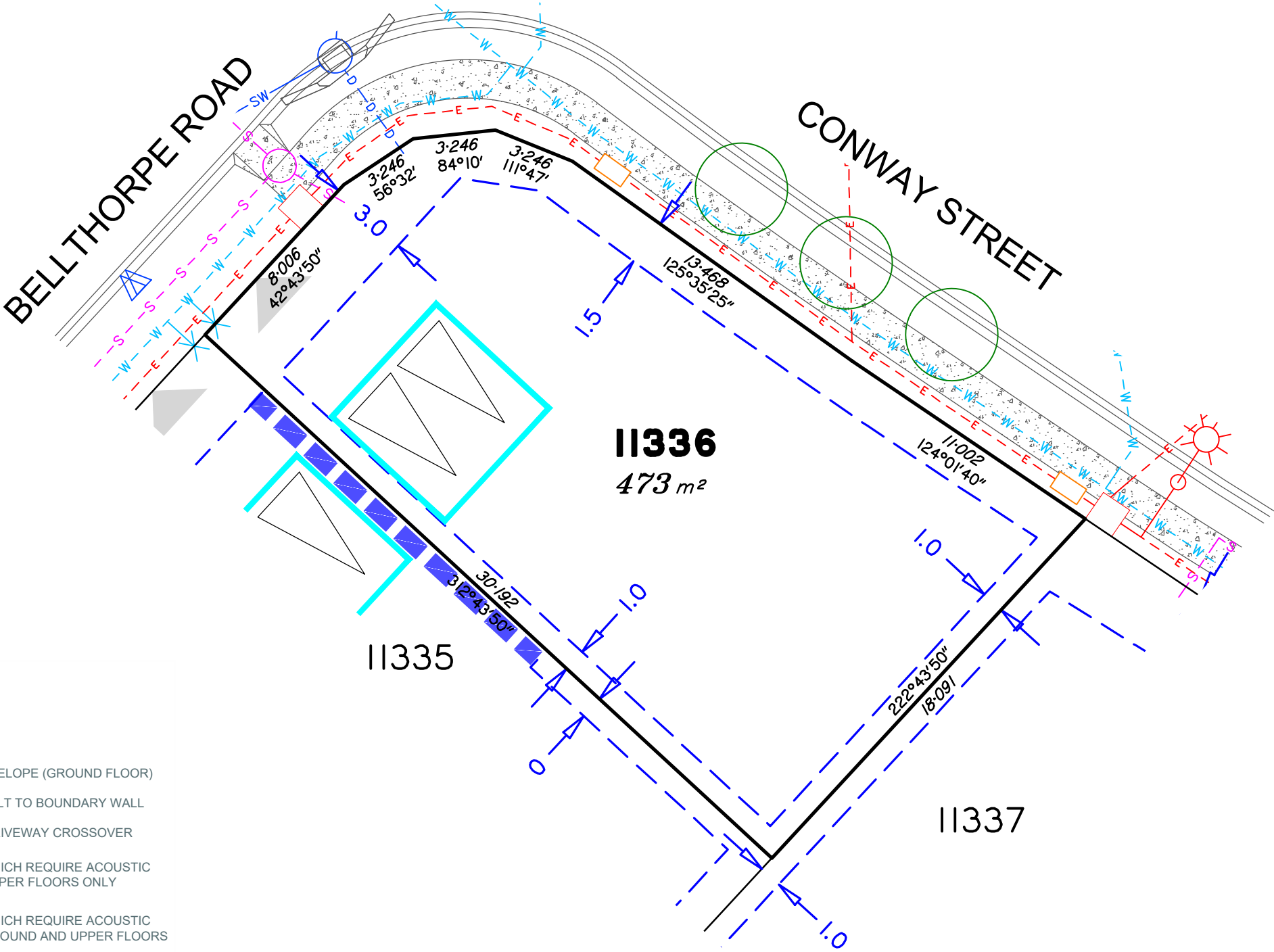
- OPTIONAL BUILT TO BOUNDARY WALL
- ---

- INDICATIVE DRIVEWAY CROSSOVER
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- ---

- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
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PLAN OF		PROPOSED LOT 11336 ON SP357520	
DESCRIBED AS:		PART OF LOT 1 ON SP351245	
EXISTING TITLE REFERENCE:		51370117	
LOCALITY:		MONARCH GLEN	
LOCAL GOVERNMENT:		LOGAN CITY COUNCIL	

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	
11731 S 15 AD A_11336	



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MONARCH GLEN

PRECINCT 101.03

NOTES

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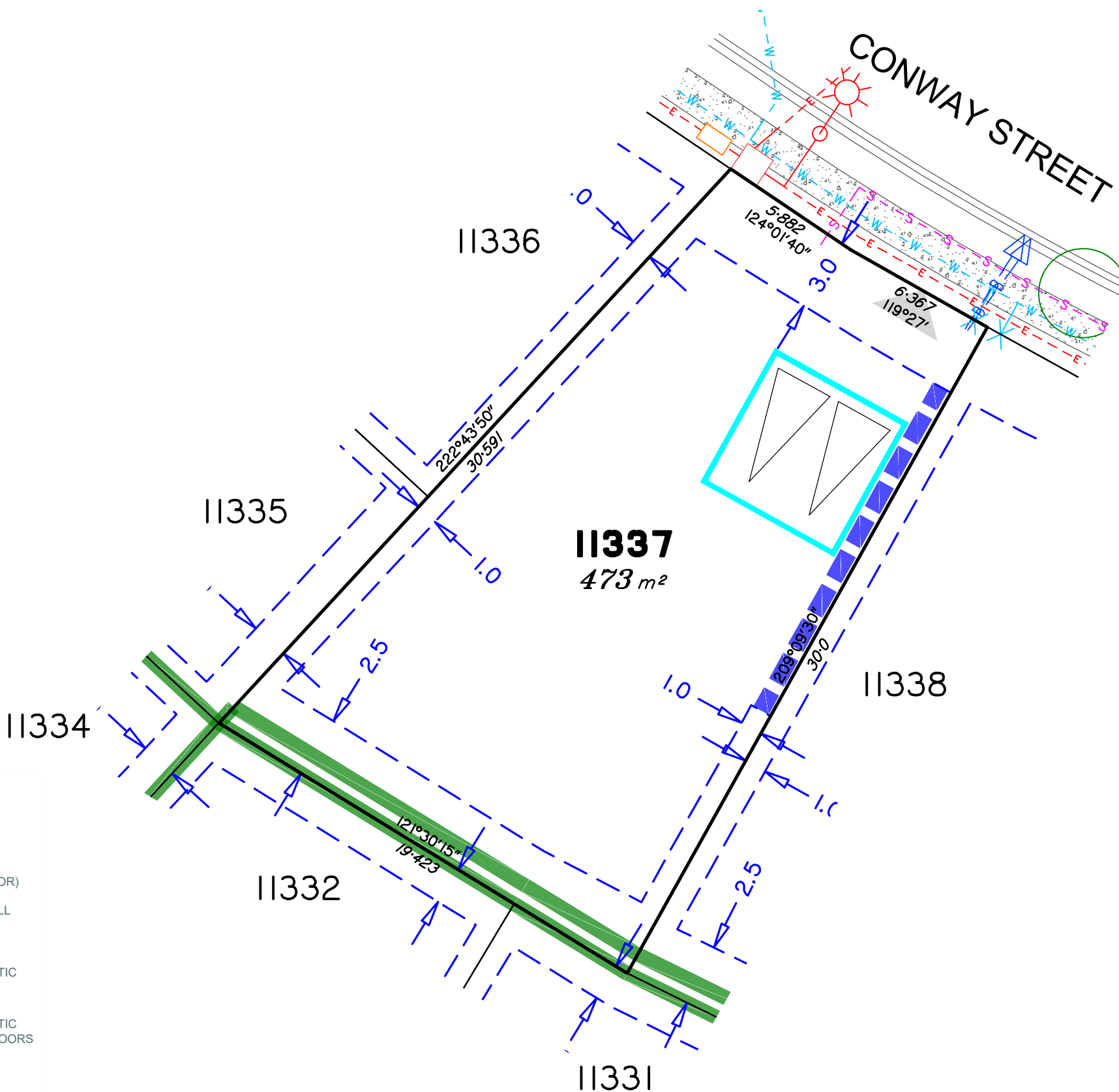
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11337 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11337



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MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

NBN PIT

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE
- E

EG

G

NBN

S

SW

D

W

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

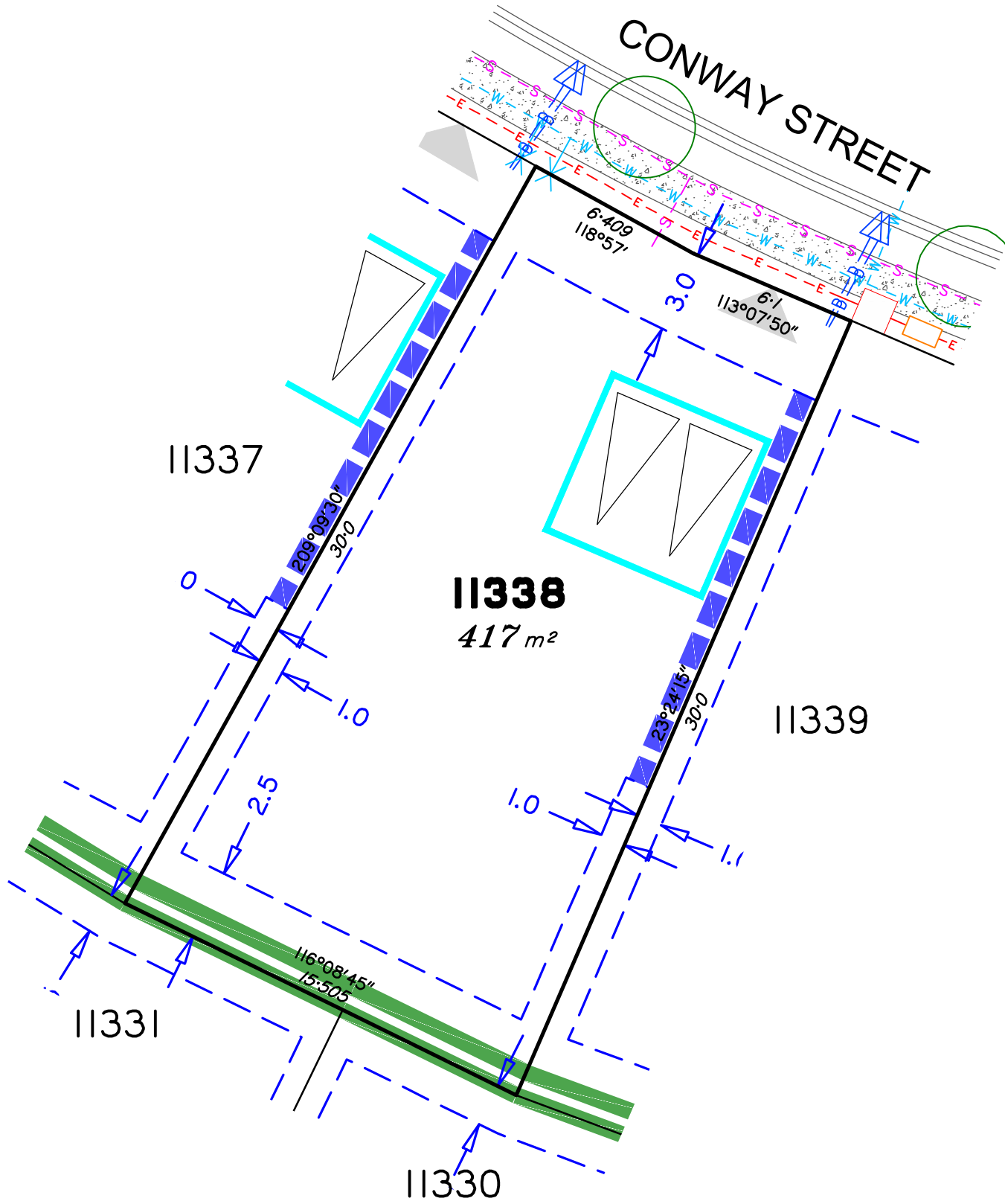
NBN PIT

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED		TG	

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11338 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11338



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

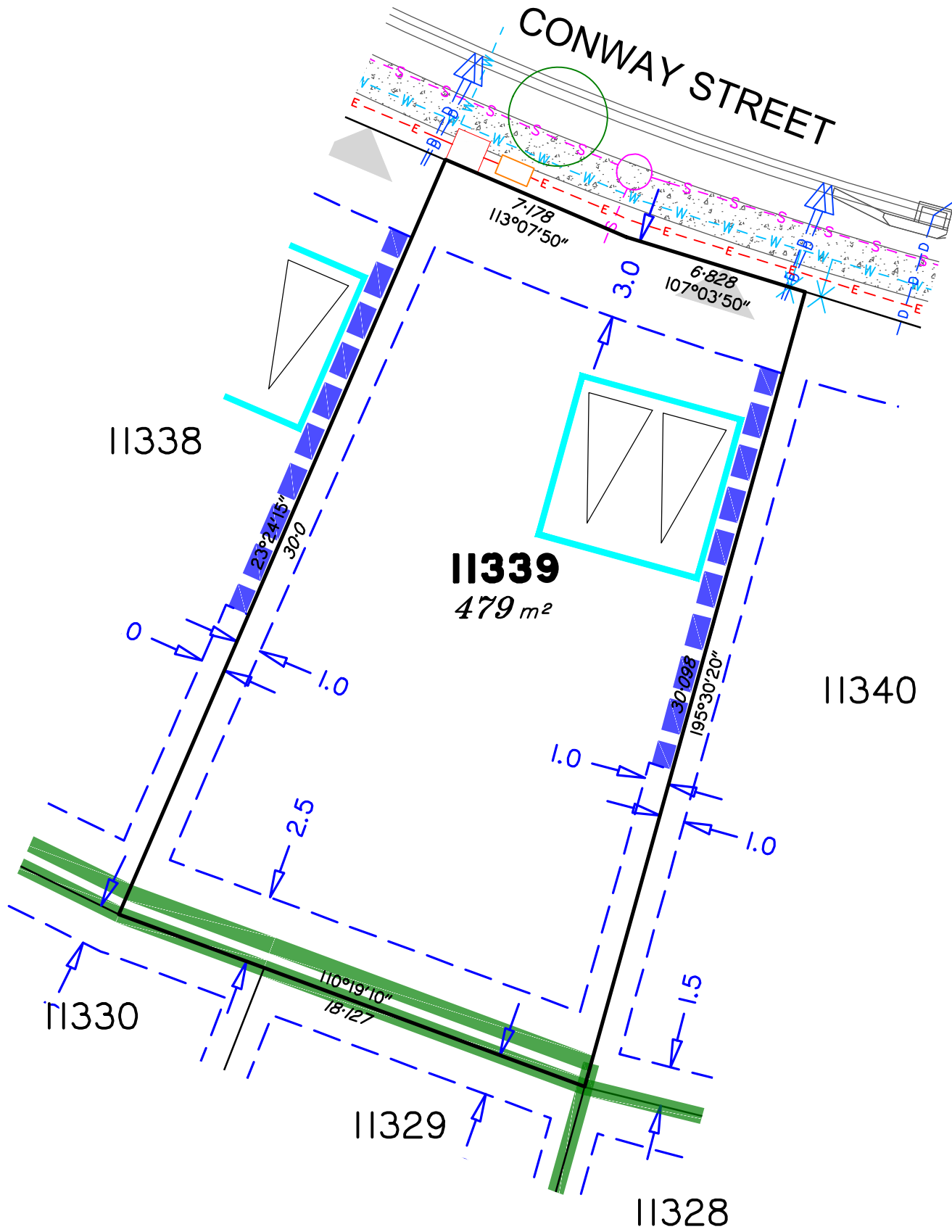
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m' at the top. Below the bar, the text '1:200' is printed.

PLAN OF

PROPOSED LOT 11339 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11339



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MONARCH GLEN

PRECINCT 101.03

NOTES

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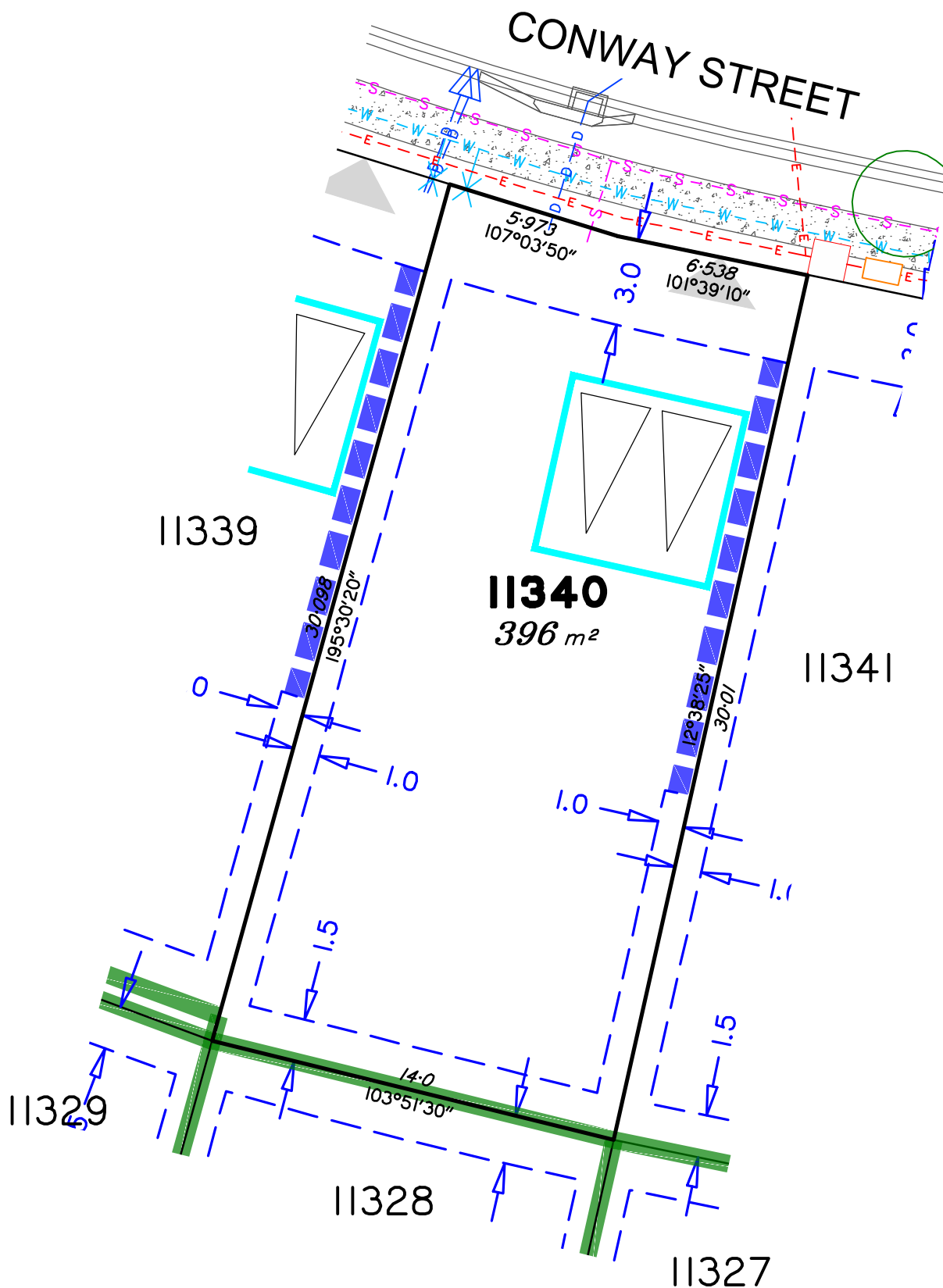
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE

0 1 2 5m

1:200

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PLAN OF	
PROPOSED LOT 11340 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11340



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MONARCH GLEN

PRECINCT 101.03

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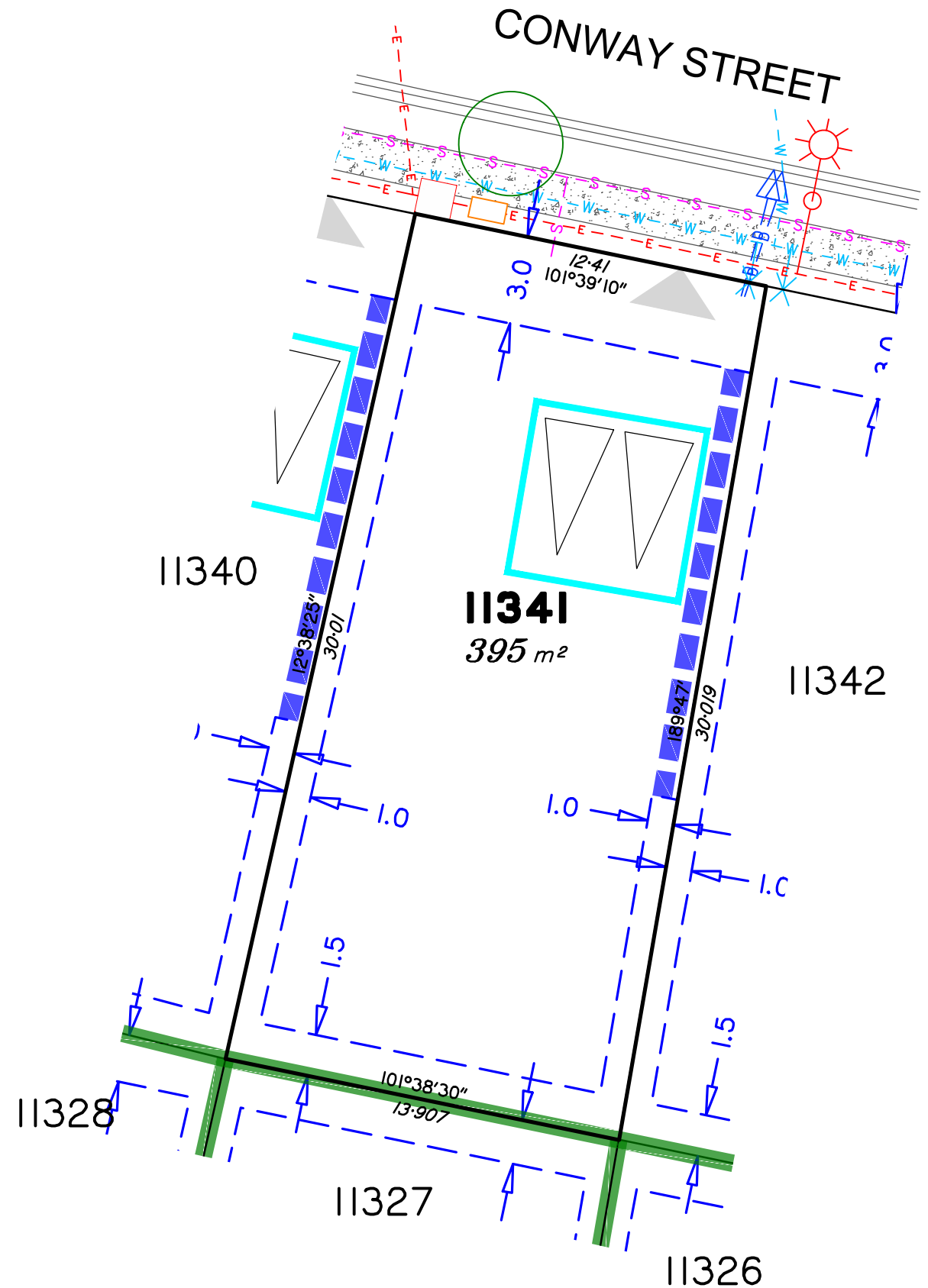
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



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SCALE
1:200

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 1, 2, and 5. The bar represents a scale of 1:200.

| PLAN OF

PROPOSED LOT 11341 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY:
MONARCH GLEN

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

	DRAWING NO.
--	-------------

11731 S 15 AD A 11341



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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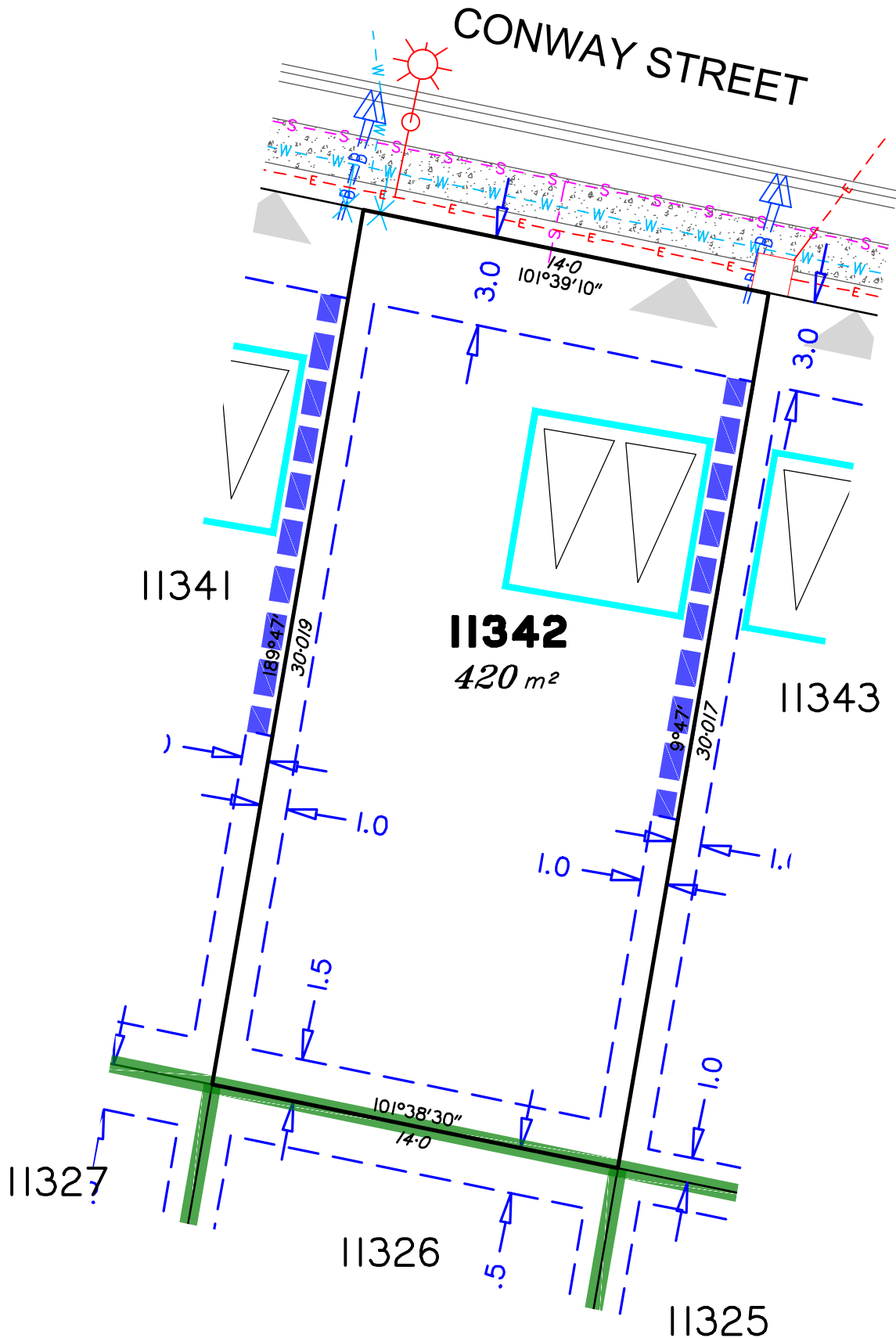
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11342 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11342



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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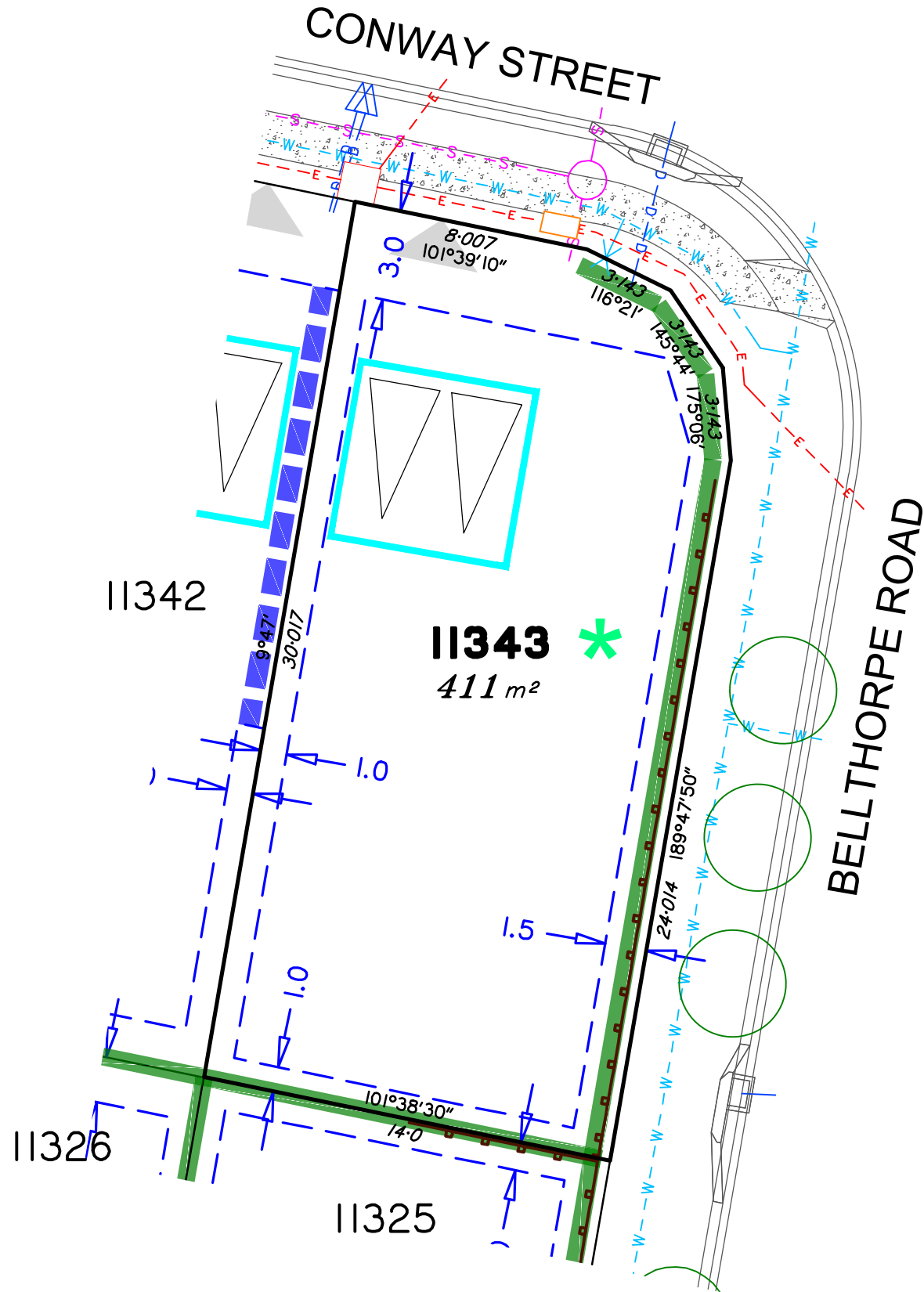
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF

PROPOSED LOT 11343 ON SP357520

DESCRIBED AS:

PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE

51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11343



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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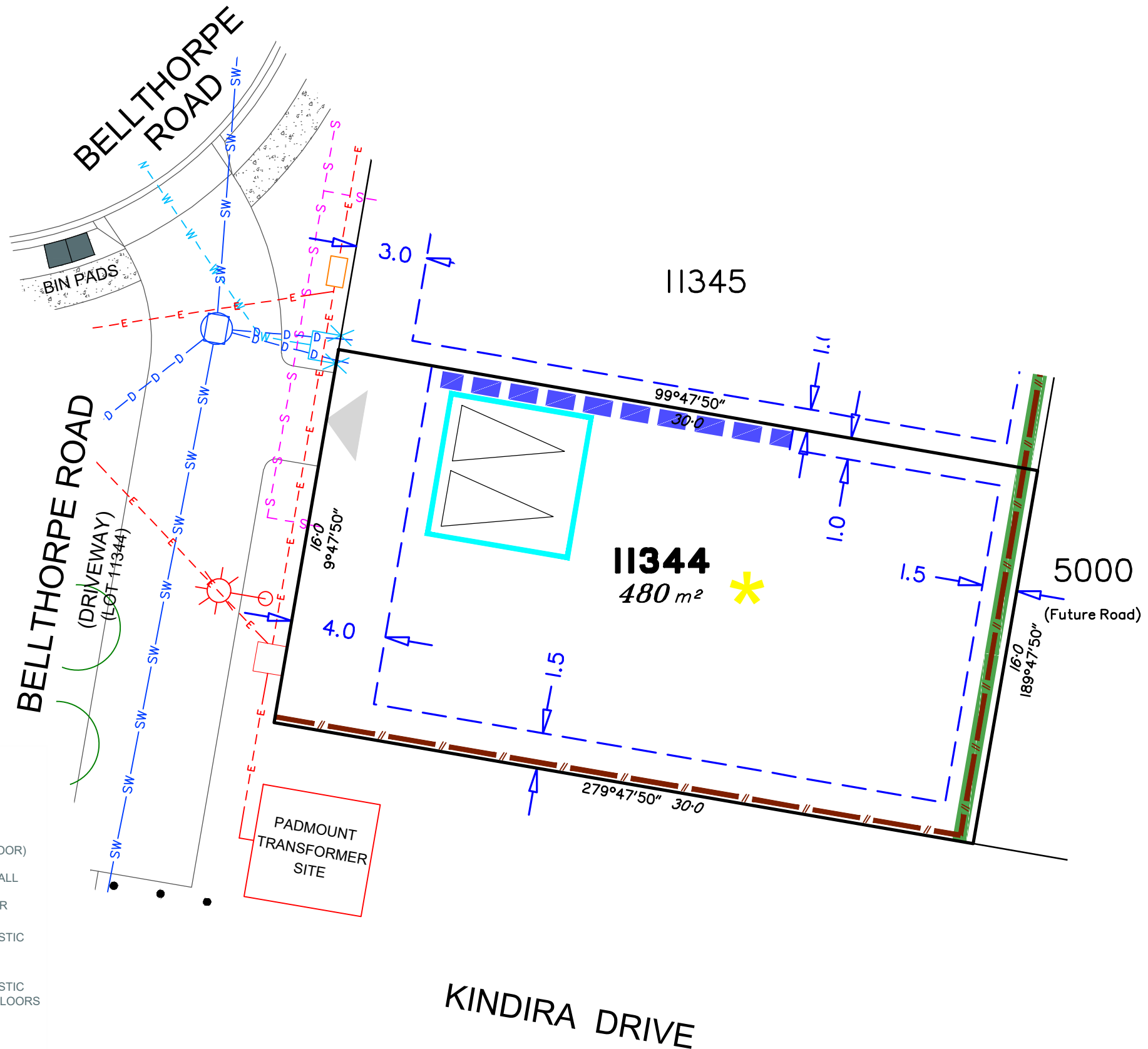
LEGEND

SERVICES & FEATURES

- | | |
|---|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5

1:200



PLAN OF	
PROPOSED LOT 11344 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11344



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

ELECTRICAL & NBN
- EG

ELECTRICAL & GAS SHARED TRENCH (TBA)
- G

GAS (TBA)
- NBN

NBN
- S

SEWER LINE / MANHOLE
- SW

STORMWATER LINE / MANHOLE
- D

ROOFWATER LINE / PIT / KERB ADAPTOR
- W

WATER
- ---

RETAINING WALL
- ---

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- ---

FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- ---

STORMWATER GULLY PIT
- ---

STREETLIGHT
- ---

ELECTRICAL PILLAR
- ---

NBN PIT
- ---

WATER METER BOX (METER BY OWNER/BUILDER)
- ---

STREET TREE

PLAN OF DEVELOPMENT

- ---

BUILDING ENVELOPE (GROUND FLOOR)
- ---

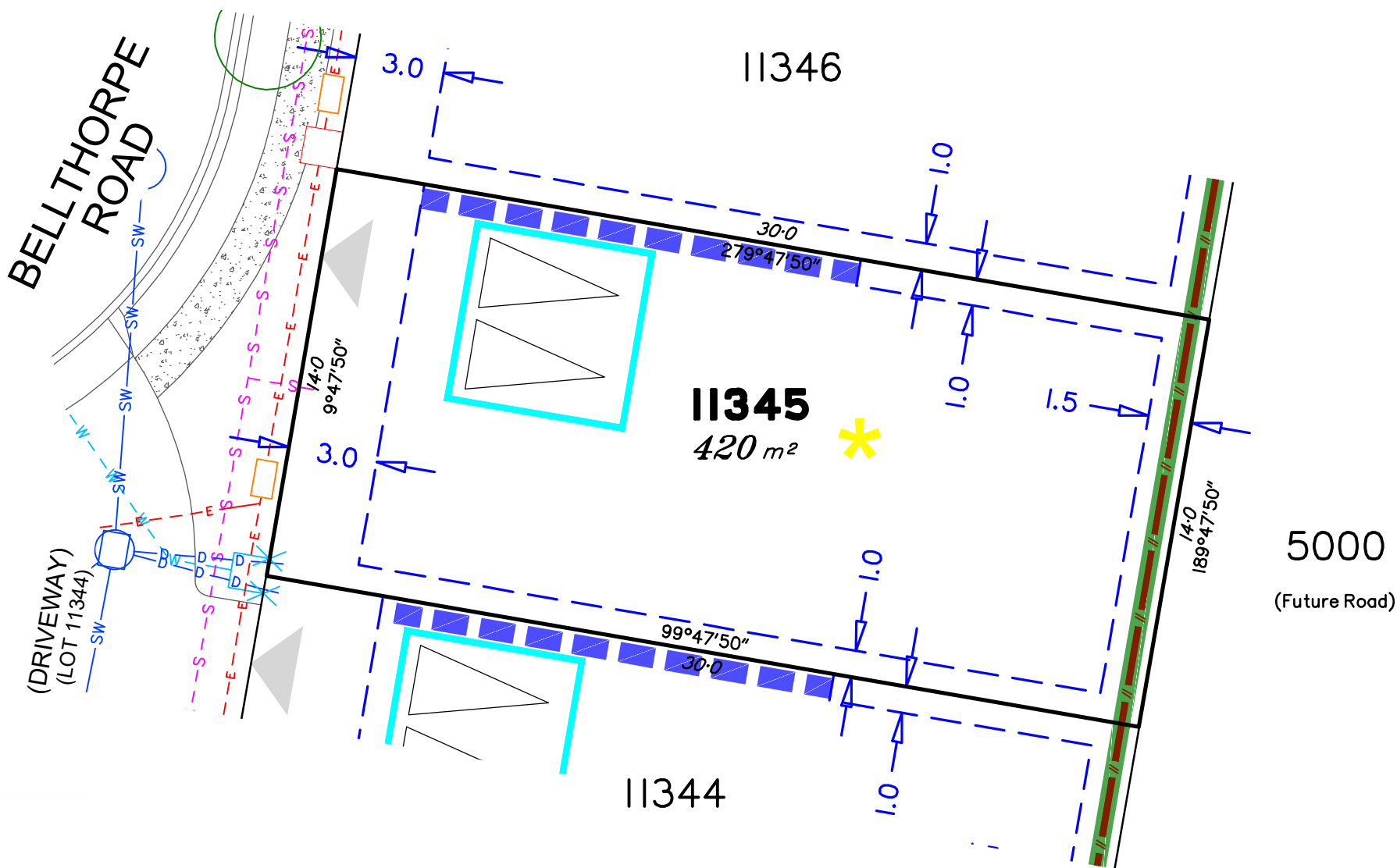
OPTIONAL BUILT TO BOUNDARY WALL
- ---

INDICATIVE DRIVEWAY CROSSOVER
- ---

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- ---

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- ---

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11345 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11345



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

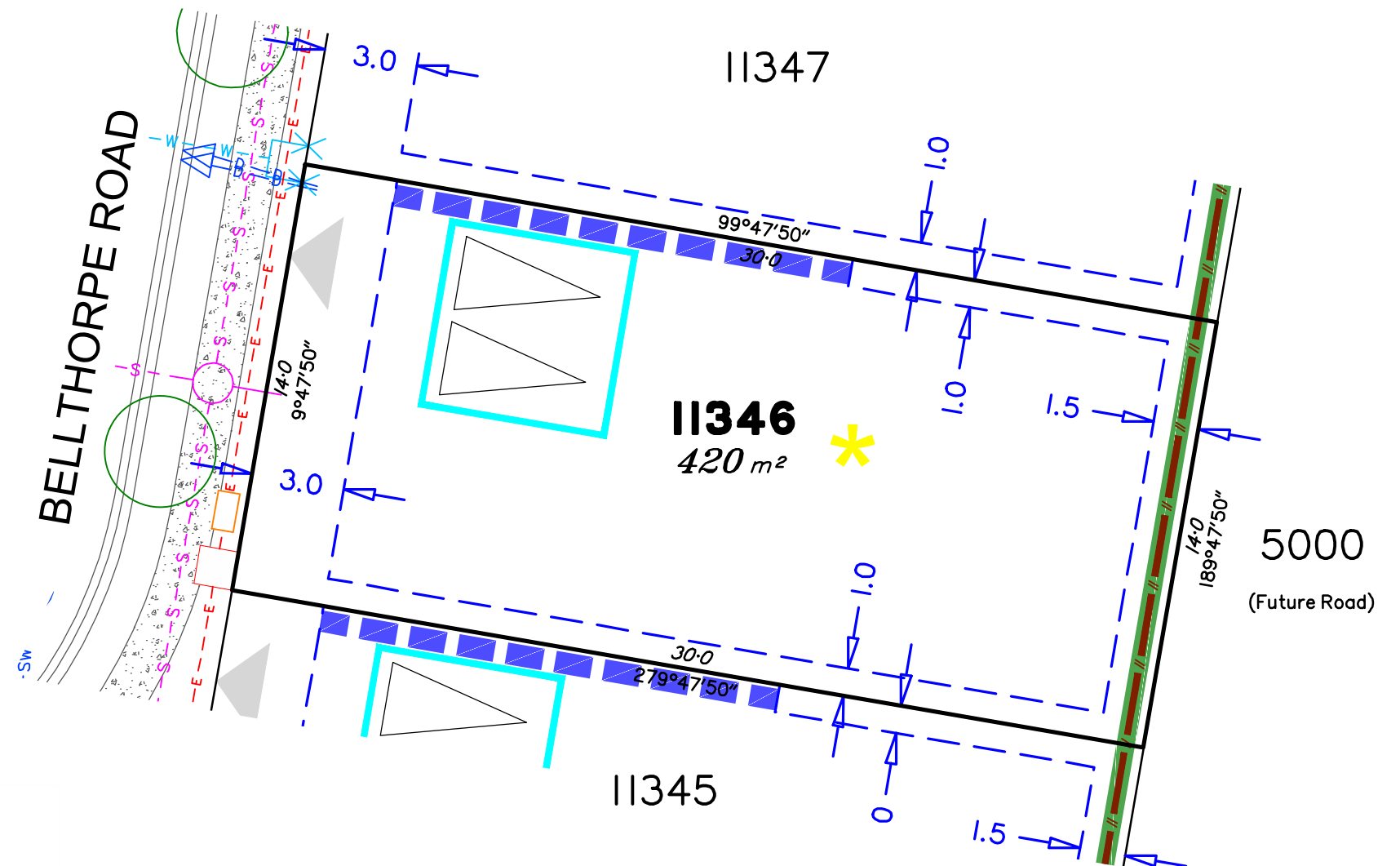
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE
1:200



A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 1, 2, and 5. The bar represents a total length of 5 units.

PLAN OF		PROPOSED LOT 11346 ON SP357520	
DESCRIBED AS:		PART OF LOT 1 ON SP351245	
EXISTING TITLE REFERENCE:		51370117	
LOCALITY: MONARCH GLEN		LOCAL GOVERNMENT: LOGAN CITY COUNCIL	

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11346



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

S

SW

D

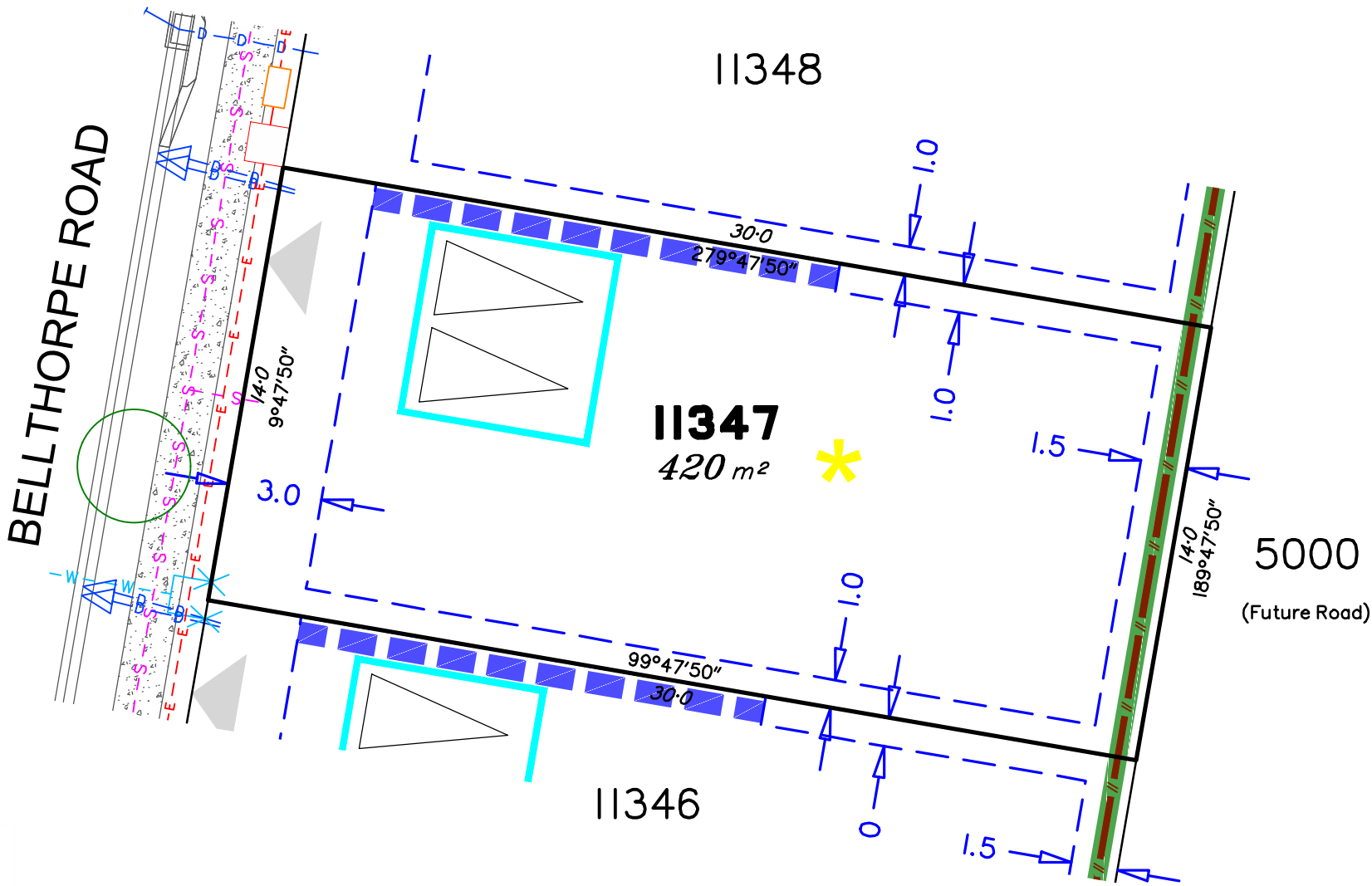
W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE

PLAN OF DEVELOPMENT

- *

*
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES				CHECKED TG
NO.	DRAWN TG	DATE	DESCRIPTION ORIGINAL ISSUE	
A		06.05.2026		

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PLAN OF PROPOSED LOT 11347 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11347



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

ELECTRICAL & NBN
- EG

ELECTRICAL & GAS SHARED TRENCH (TBA)
- G

GAS (TBA)
- NBN

NBN
- S

SEWER LINE / MANHOLE
- SW

STORMWATER LINE / MANHOLE
- D

ROOFWATER LINE / PIT / KERB ADAPTOR
- W

WATER
- ---

RETAINING WALL
- ---

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- ---

FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- ---

STORMWATER GULLY PIT
- ---

STREETLIGHT
- ---

ELECTRICAL PILLAR
- ---

NBN PIT
- ---

WATER METER BOX (METER BY OWNER/BUILDER)
- ---

STREET TREE

PLAN OF DEVELOPMENT

- ---

BUILDING ENVELOPE (GROUND FLOOR)
- ---

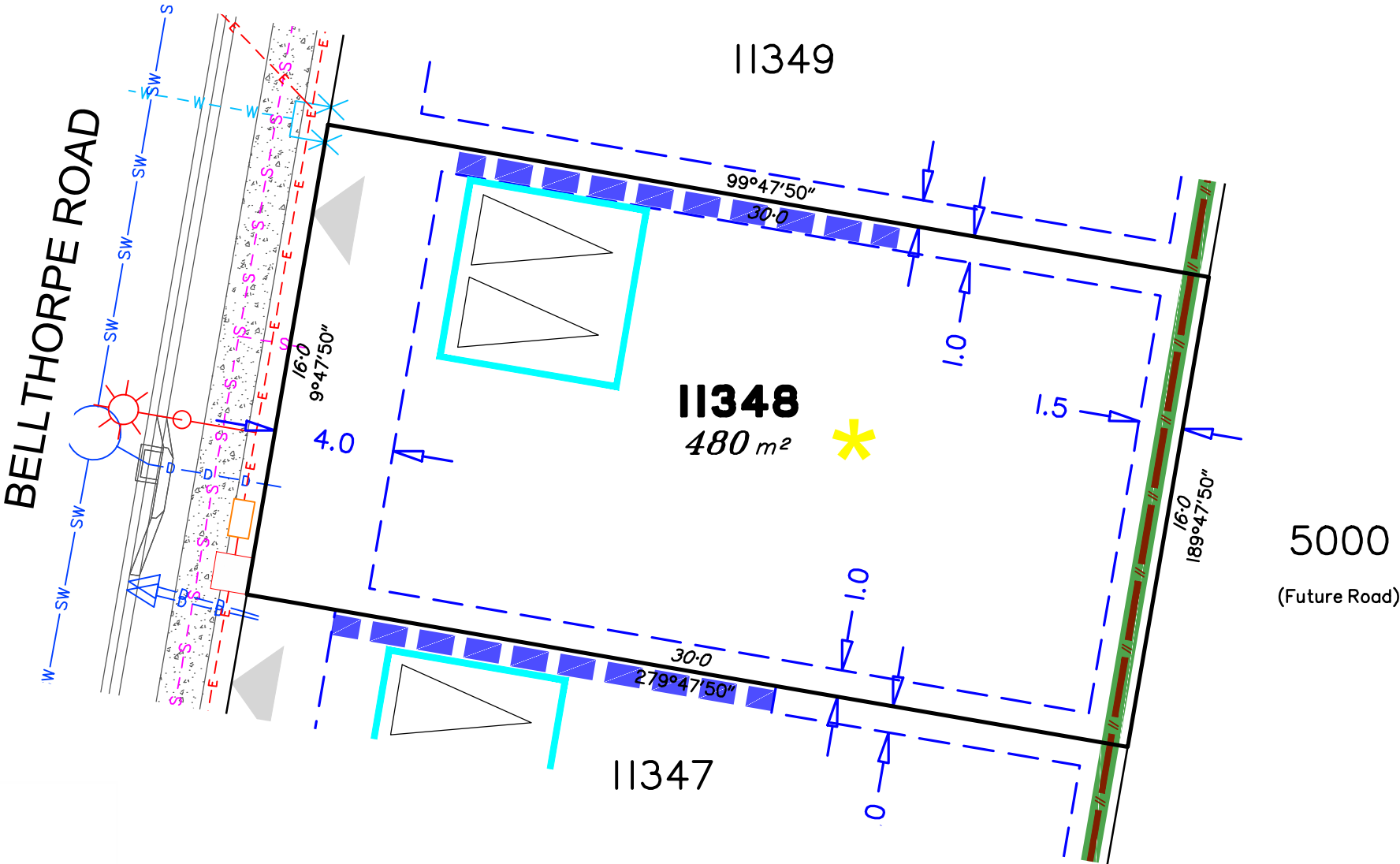
OPTIONAL BUILT TO BOUNDARY WALL
- ---

INDICATIVE DRIVEWAY CROSSOVER
- ---

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- ---

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- ---

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED TG			

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PLAN OF PROPOSED LOT 11348 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 15 AD A_11348



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MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

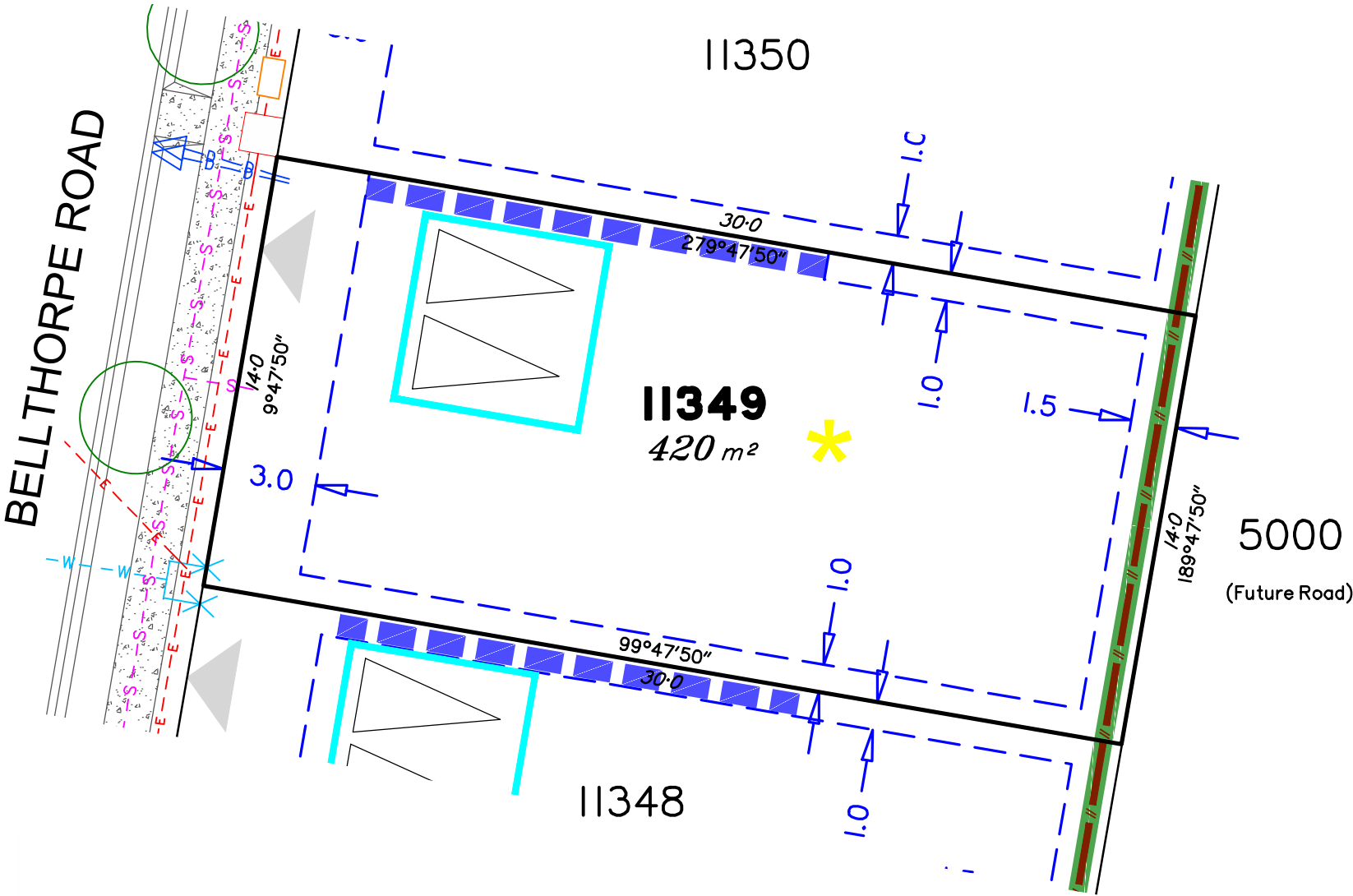
W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE

PLAN OF DEVELOPMENT

- *

*
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED TG			

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11349 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11349



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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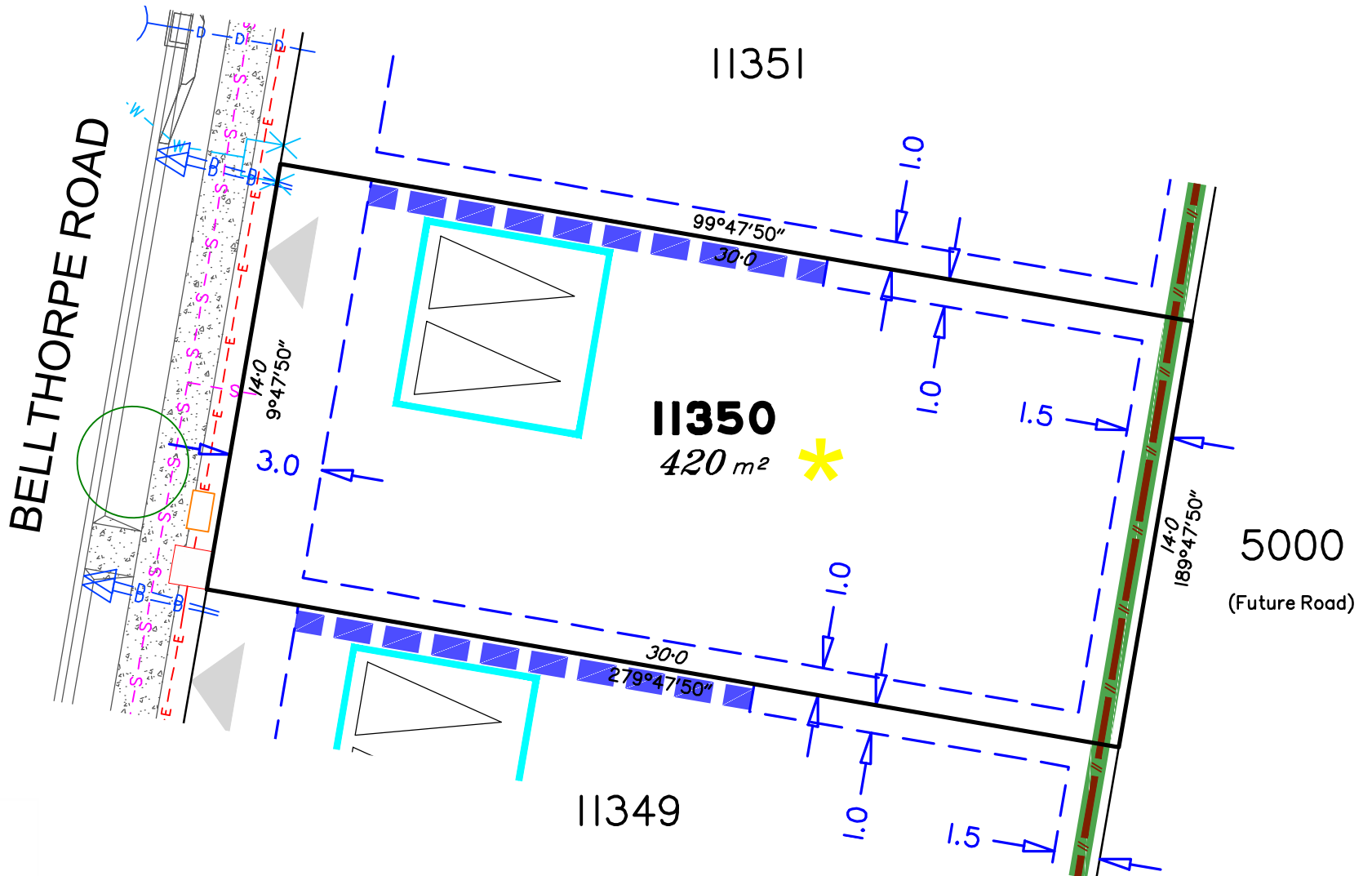
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

A horizontal scale bar with alternating black and white segments. It is marked with '0', '1', '2', and '5m' at the top. Below the bar, the text '1:200' is printed.

PLAN OF

PROPOSED LOT 11350 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11350



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

Retaining Wall

Acoustic Fence (Constructed by Mirvac)

Feature Fence (Constructed by Mirvac)

Stormwater Gully Pit

Streetlight

Electrical Pillar

NBN Pit

Water Meter Box (Meter by Owner/Builder)

Street Tree
- E

EG

G

NBN

S

SW

D

W

Retaining Wall

Acoustic Fence (Constructed by Mirvac)

Feature Fence (Constructed by Mirvac)

Stormwater Gully Pit

Streetlight

Electrical Pillar

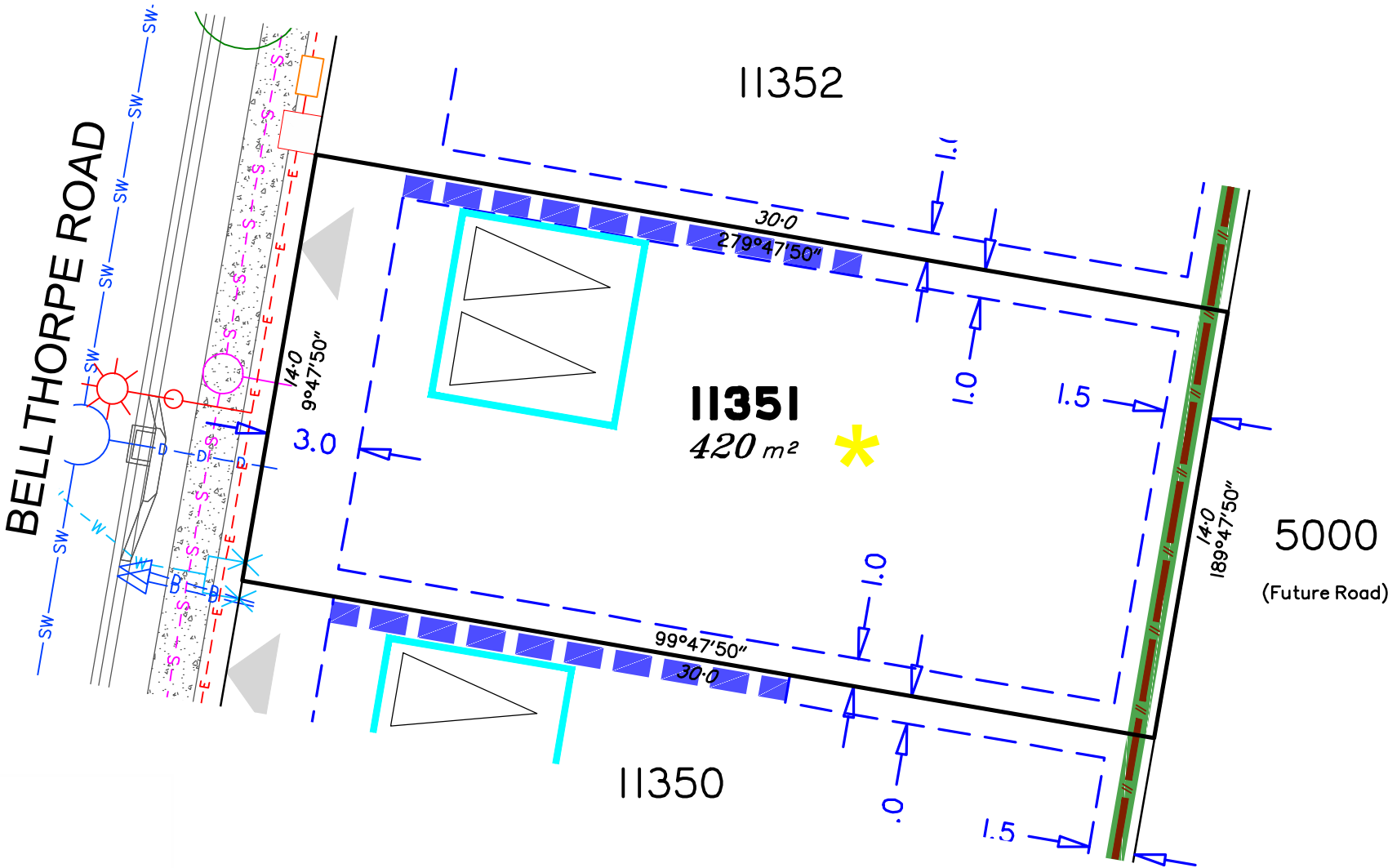
NBN Pit

Water Meter Box (Meter by Owner/Builder)

Street Tree

PLAN OF DEVELOPMENT

- Building Envelope (Ground Floor)
- Optional Built to Boundary Wall
- Indicative Driveway Crossover
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to ground and upper floors
- Indicative Garage Location (Setback 5m from boundary)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED		TG	

SERVICES AND FEATURES DATA SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM DESIGN PLANS ONLY, AND ARE SUBJECT TO FINAL SURVEY AND CONSTRUCTION. PLAN OF DEVELOPMENT DATA IS SHOWN AS A GUIDE ONLY. BUILDING SETBACK & DESIGN CRITERIA IN THE APPROVED PLAN OF DEVELOPMENT SUPERCEDE ANY PLAN OF DEVELOPMENT INFORMATION SHOWN ON THIS PLAN.



PLAN OF		PROPOSED LOT 11351 ON SP357520	
DESCRIBED AS:		PART OF LOT 1 ON SP351245	
EXISTING TITLE REFERENCE:		51370117	
LOCALITY:		MONARCH GLEN	
LOCAL GOVERNMENT:		LOGAN CITY COUNCIL	

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	
11731 S 15 AD A_11351	



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

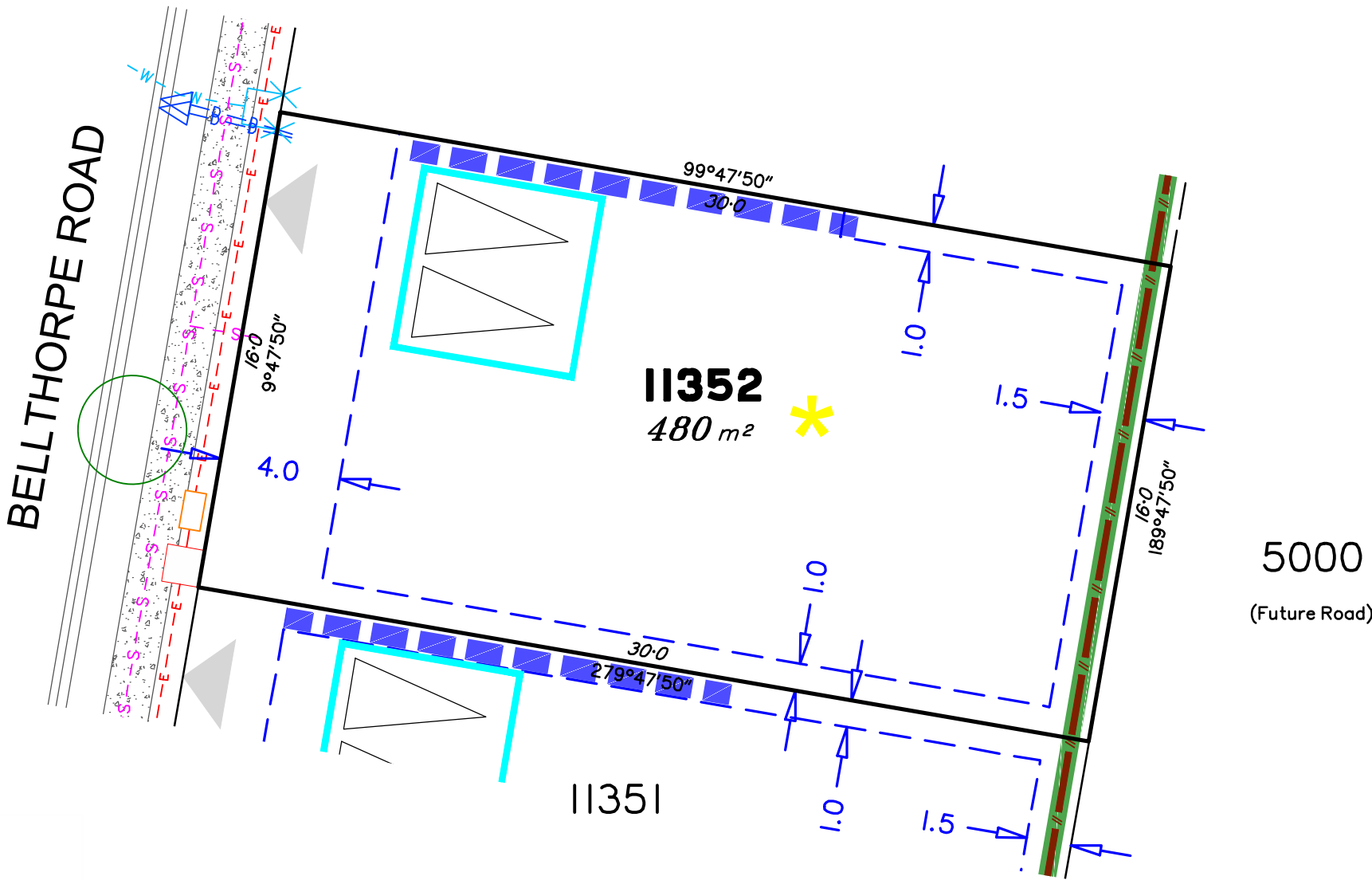
W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE

PLAN OF DEVELOPMENT

- *

*
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES				CHECKED TG
NO.	DRAWN TG	DATE	DESCRIPTION	
A		06.05.2026	ORIGINAL ISSUE	

SERVICES AND FEATURES DATA SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM DESIGN PLANS ONLY, AND ARE SUBJECT TO FINAL SURVEY AND CONSTRUCTION. PLAN OF DEVELOPMENT DATA IS SHOWN AS A GUIDE ONLY. BUILDING SETBACK & DESIGN CRITERIA IN THE APPROVED PLAN OF DEVELOPMENT SUPERCEDE ANY PLAN OF DEVELOPMENT INFORMATION SHOWN ON THIS PLAN.



SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11352 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11352



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
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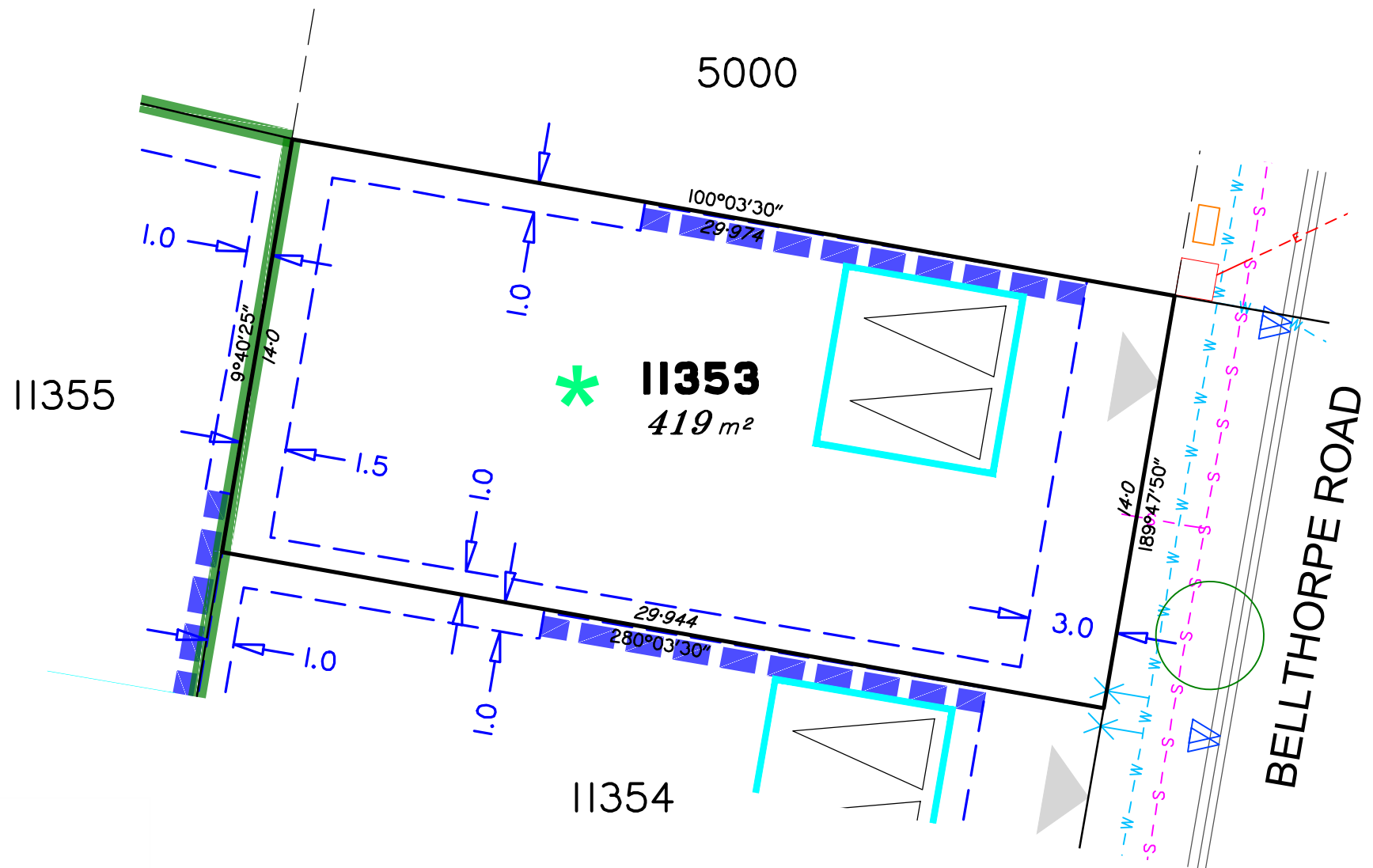
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5

1:200

| PLAN OF

PROPOSED LOT 11353 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE:	51370117
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LOCALITY:	MONARCH GLEN
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LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

	DRAWING NO.
--	-------------

11731 S 15 AD A 11353



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

- ELECTRICAL & NBN
- EG

- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G

- GAS (TBA)
- NBN

- NBN
- S

- SEWER LINE / MANHOLE
- SW

- STORMWATER LINE / MANHOLE
- D

- ROOFWATER LINE / PIT / KERB ADAPTOR
- W

- WATER
- ---

- RETAINING WALL
- ---

- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- ---

- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- ---

- STORMWATER GULLY PIT
- ---

- STREETLIGHT
- ---

- ELECTRICAL PILLAR
- ---

- NBN PIT
- ---

- WATER METER BOX (METER BY OWNER/BUILDER)
- ---

- STREET TREE

PLAN OF DEVELOPMENT

- ---

- BUILDING ENVELOPE (GROUND FLOOR)
- ---

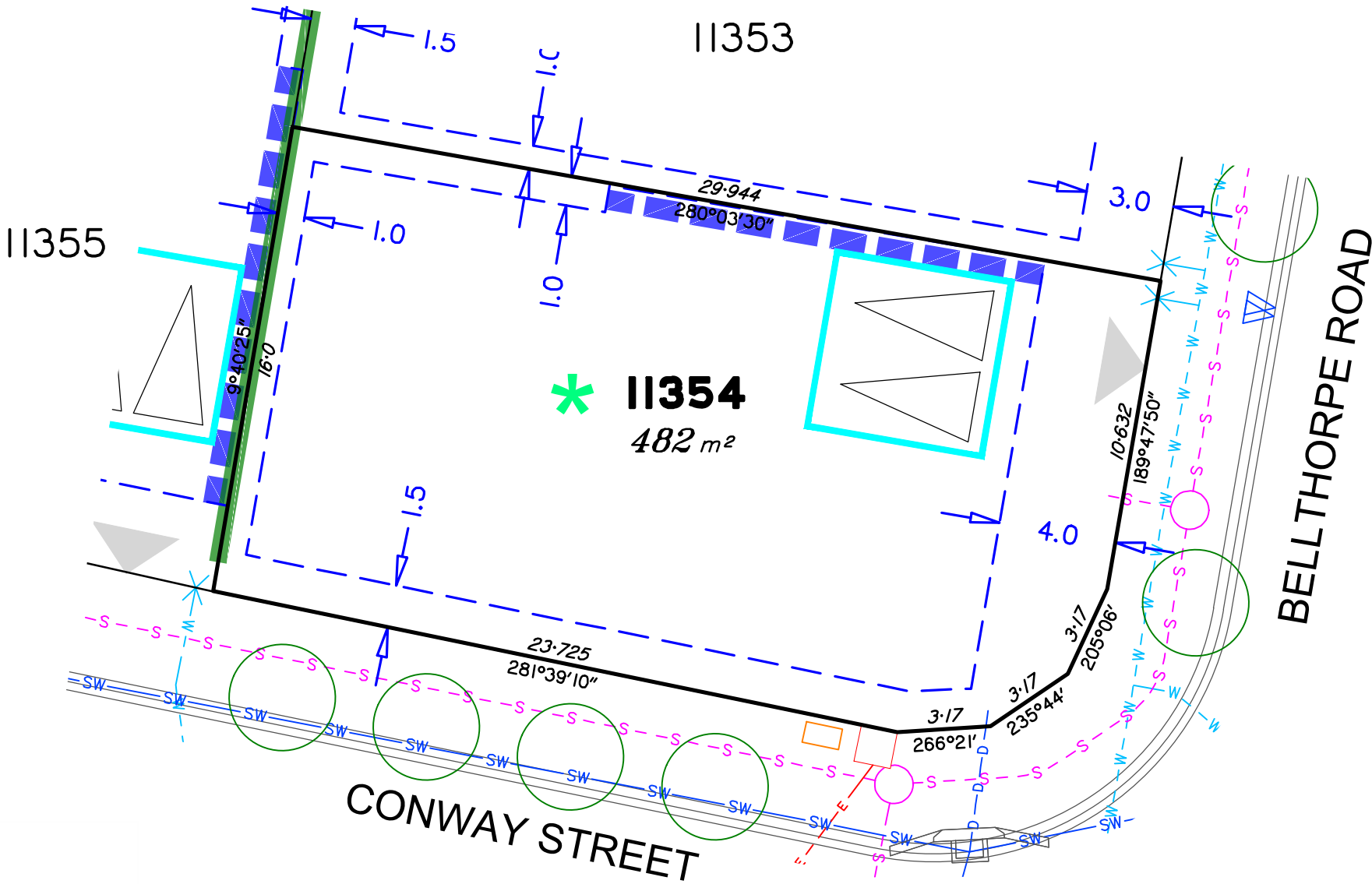
- OPTIONAL BUILT TO BOUNDARY WALL
- ---

- INDICATIVE DRIVEWAY CROSSOVER
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- ---

- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- ---

- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE
CHECKED TG			

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PLAN OF PROPOSED LOT 11354 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A_11354



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

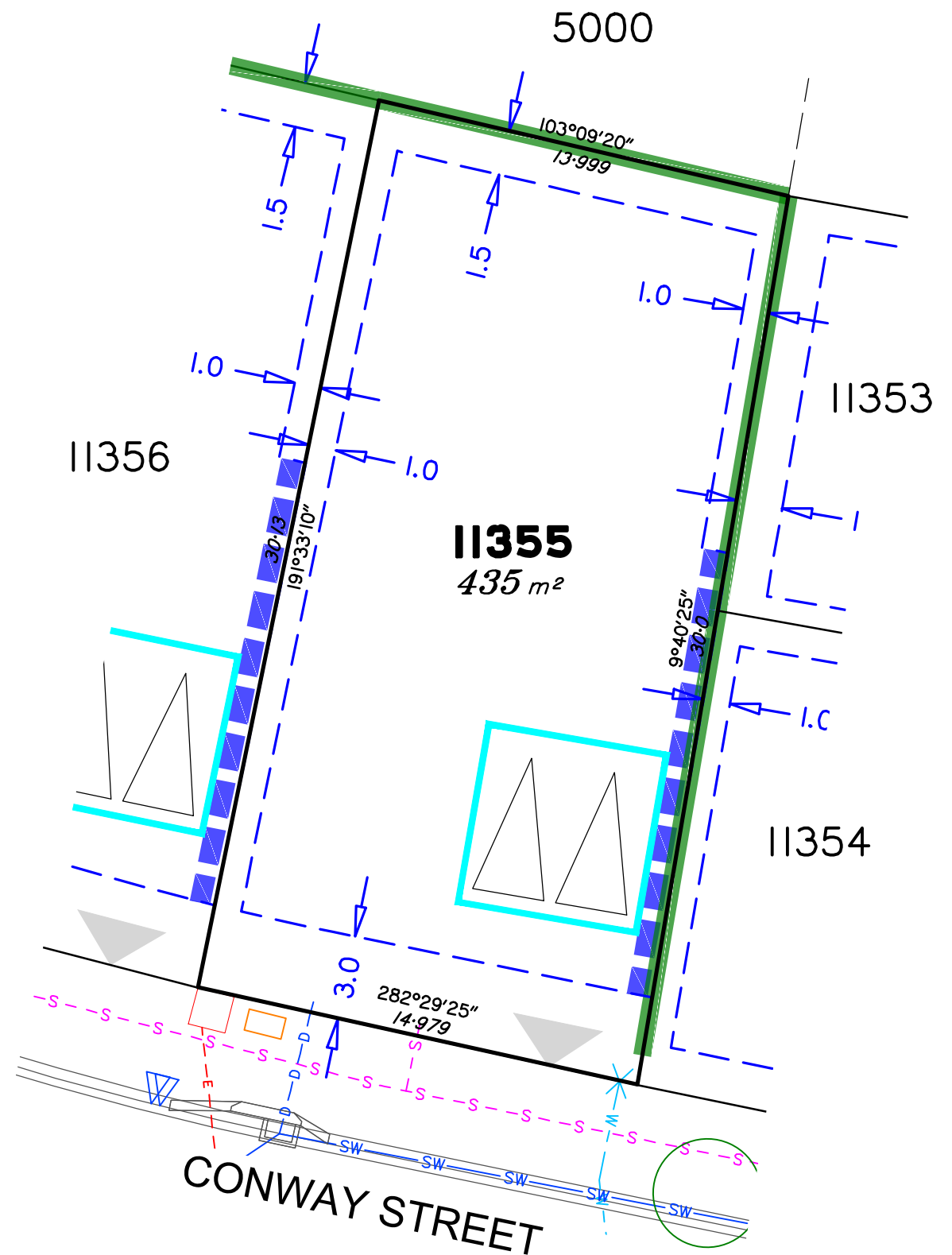
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5

1:200



PLAN OF	
PROPOSED LOT 11355 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11355



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

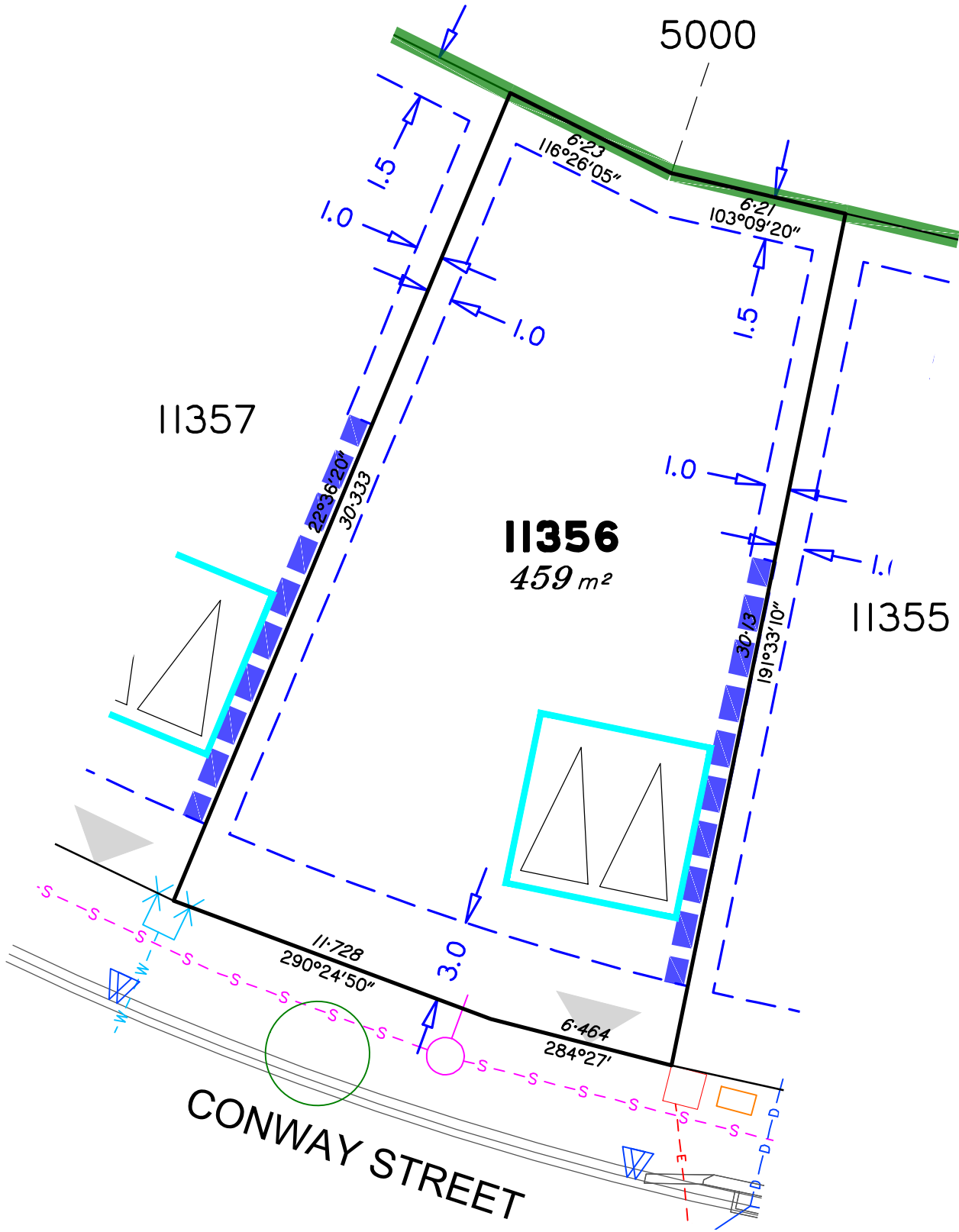
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11356 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11356



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MONARCH GLEN

PRECINCT 101.03

NOTES

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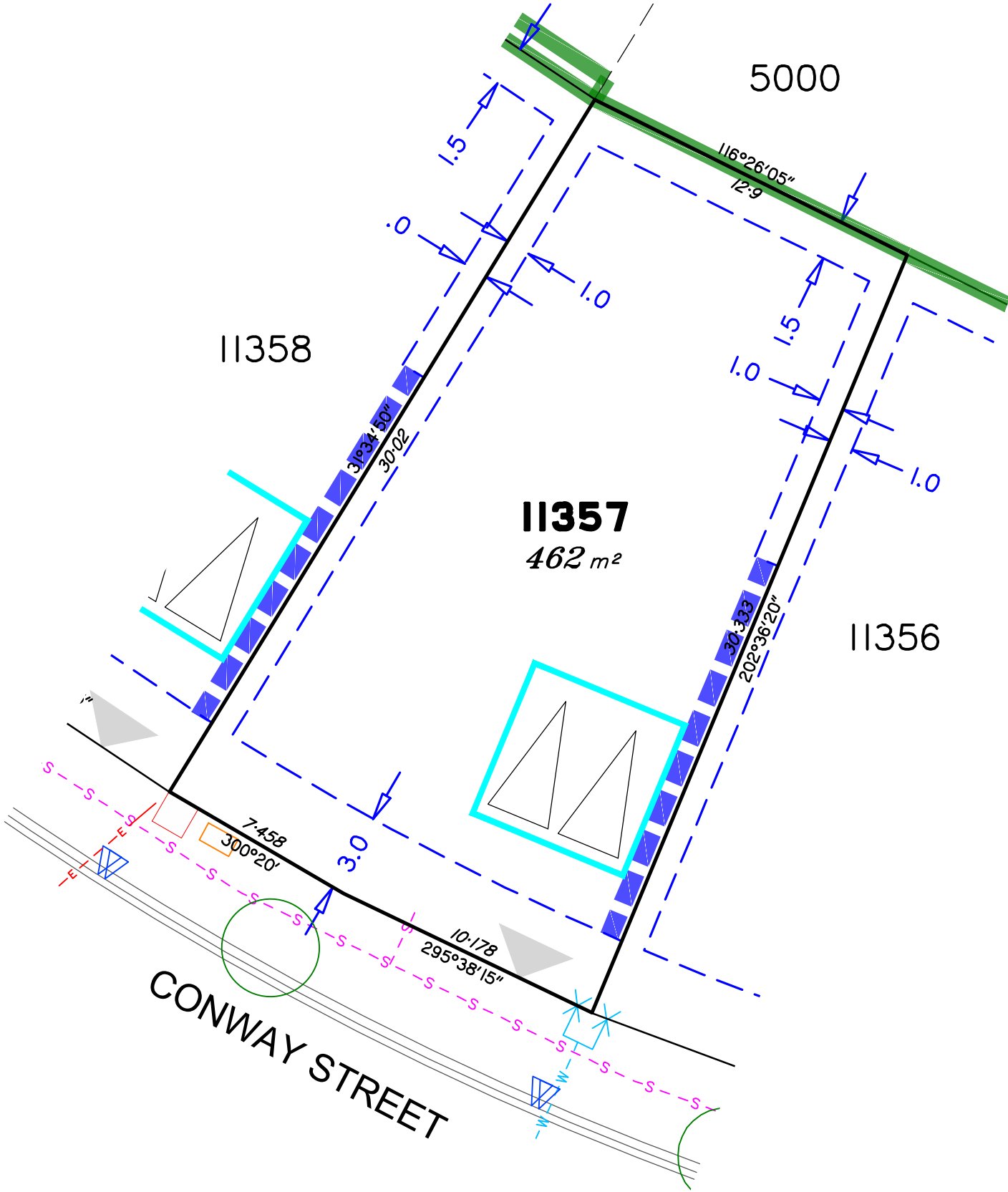
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11357 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER
FEATURES PLAN

DRAWING NO.

11731 S 15 AD A 11357



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MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

Retaining Wall

Acoustic Fence (Constructed by Mirvac)

Feature Fence (Constructed by Mirvac)

Stormwater Gully Pit

Streetlight

Electrical Pillar

NBN Pit

Water Meter Box (Meter by Owner/Builder)

Street Tree
- ELECTRICAL & NBN

ELECTRICAL & GAS SHARED TRENCH (TBA)

GAS (TBA)

NBN

SEWER LINE / MANHOLE

STORMWATER LINE / MANHOLE

ROOFWATER LINE / PIT / KERB ADAPTOR

WATER

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

NBN PIT

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)

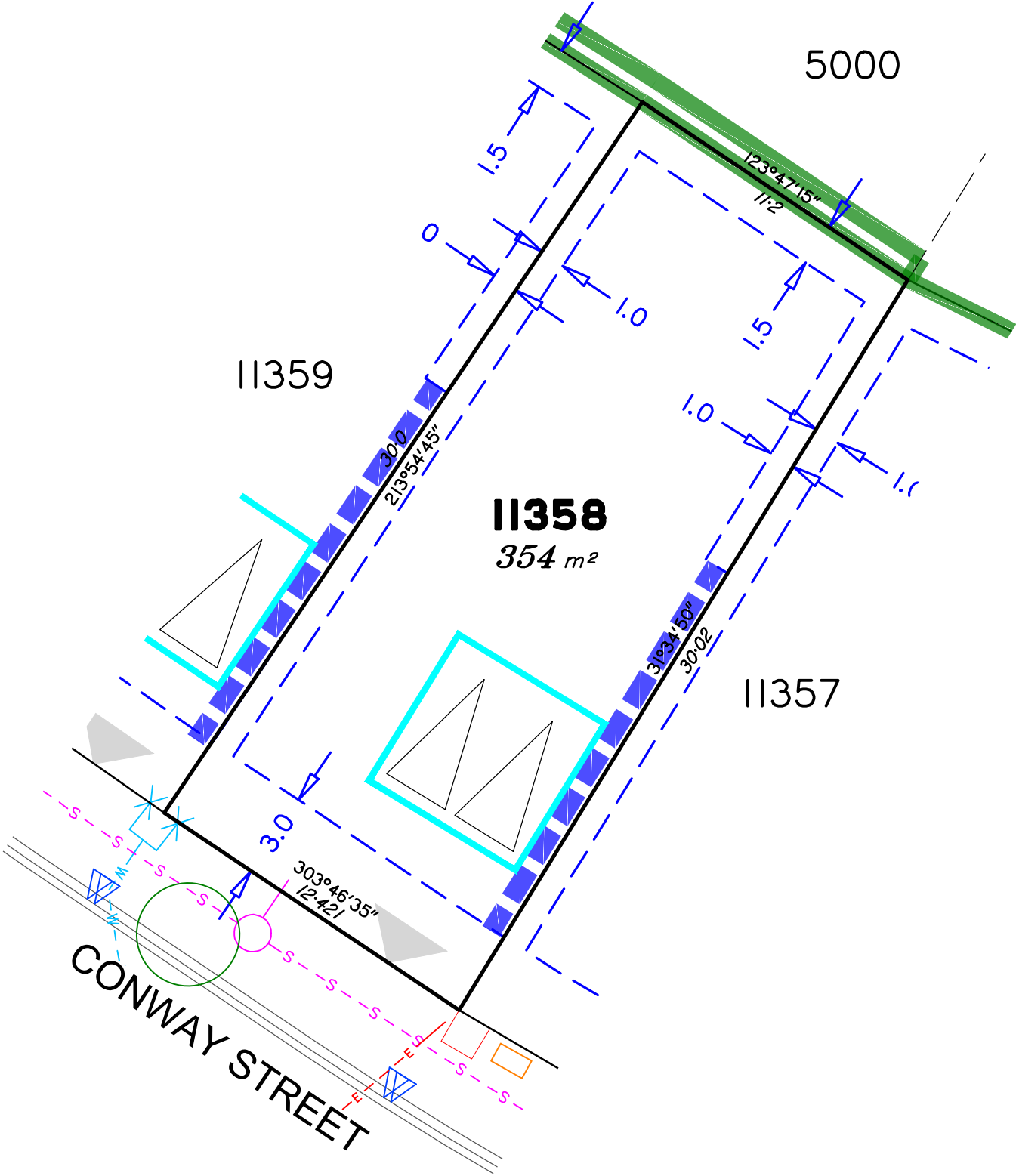
OPTIONAL BUILT TO BOUNDARY WALL

INDICATIVE DRIVEWAY CROSSOVER

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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mirvac

SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11358 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11358



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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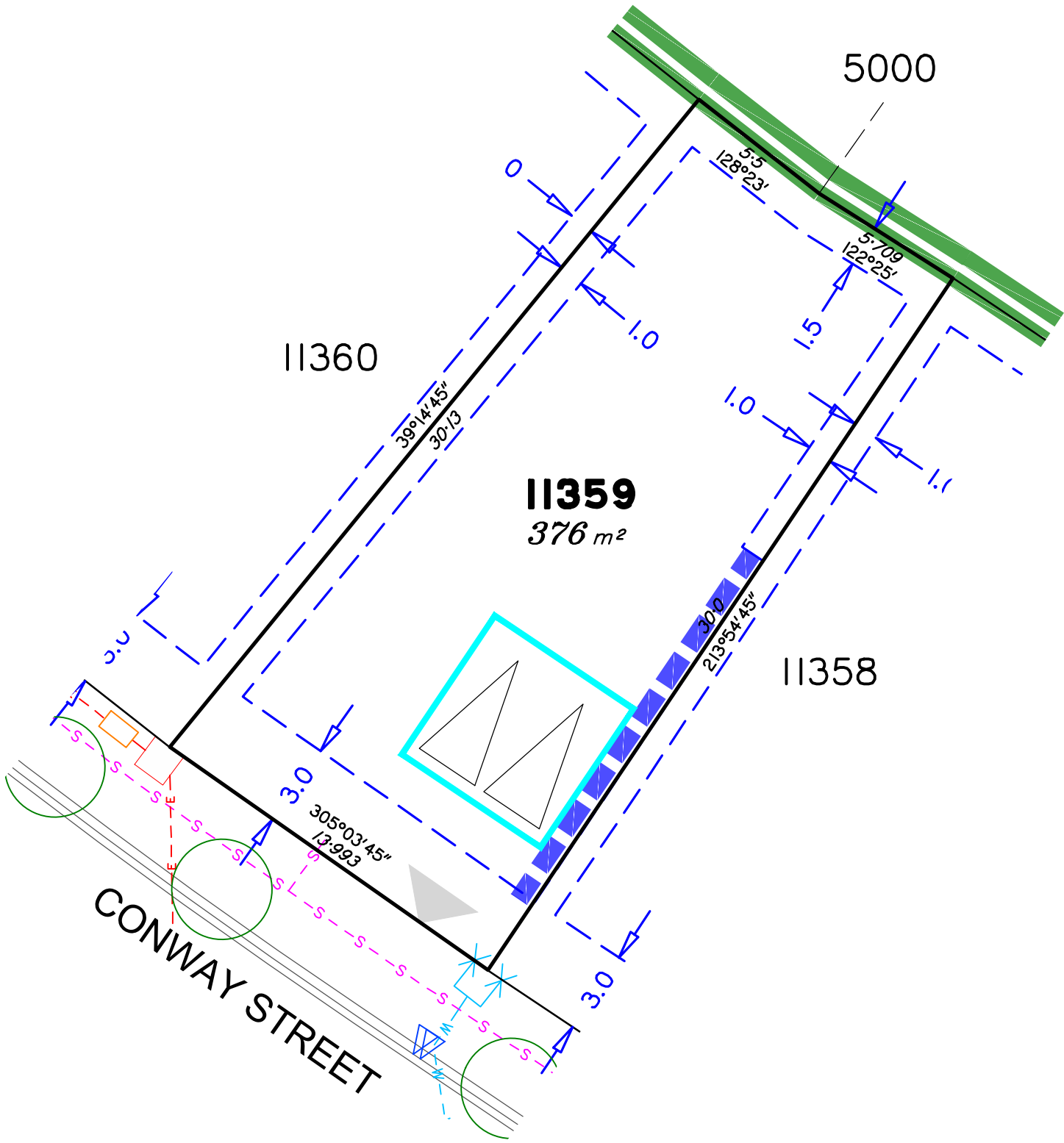
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11359 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11359



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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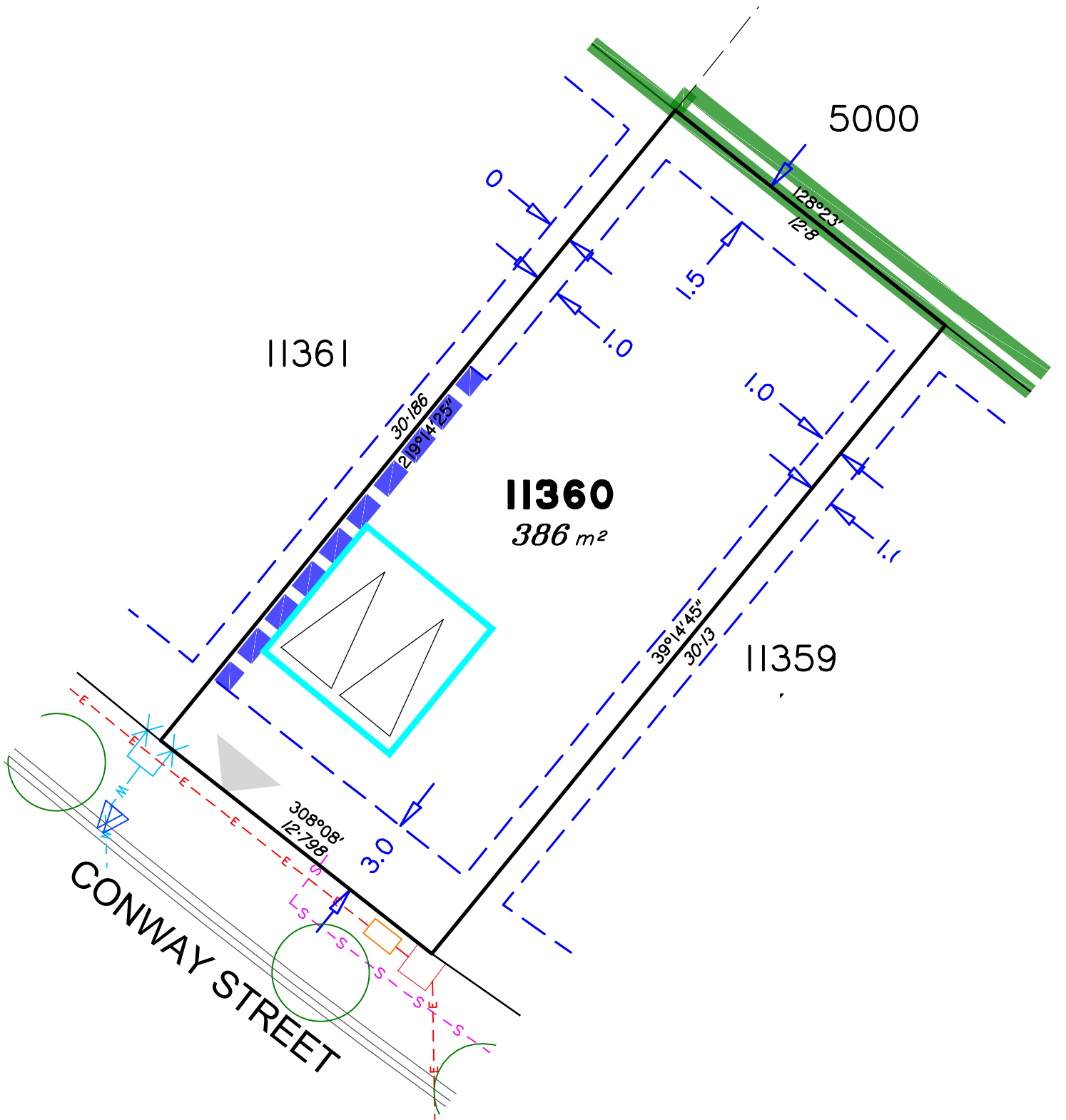
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
|  | ELECTRICAL & NBN |
|  | ELECTRICAL & GAS SHARED TRENCH (TBA) |
|  | GAS (TBA) |
|  | NBN |
|  | SEWER LINE / MANHOLE |
|  | STORMWATER LINE / MANHOLE |
|  | ROOFWATER LINE / PIT / KERB ADAPTOR |
|  | WATER |
|  | RETAINING WALL |
|  | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
|  | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
|  | STORMWATER GULLY PIT |
|  | STREETLIGHT |
|  | ELECTRICAL PILLAR |
|  | NBN PIT |
|  | WATER METER BOX (METER BY OWNER/BUILDER) |
|  | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECK
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11360 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A 11360



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

ELECTRICAL & NBN
- EG

- ELECTRICAL & GAS SHARED TRENCH (TBA)

G

GAS (TBA)

NBN

S

SEWER LINE / MANHOLE

SW

STORMWATER LINE / MANHOLE

D

ROOFWATER LINE / PIT / KERB ADAPTOR

W

WATER

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

NBN PIT

X

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE

PLAN OF DEVELOPMENT

-
- BUILDING ENVELOPE (GROUND FLOOR)

OPTIONAL BUILT TO BOUNDARY WALL

INDICATIVE DRIVEWAY CROSSOVER

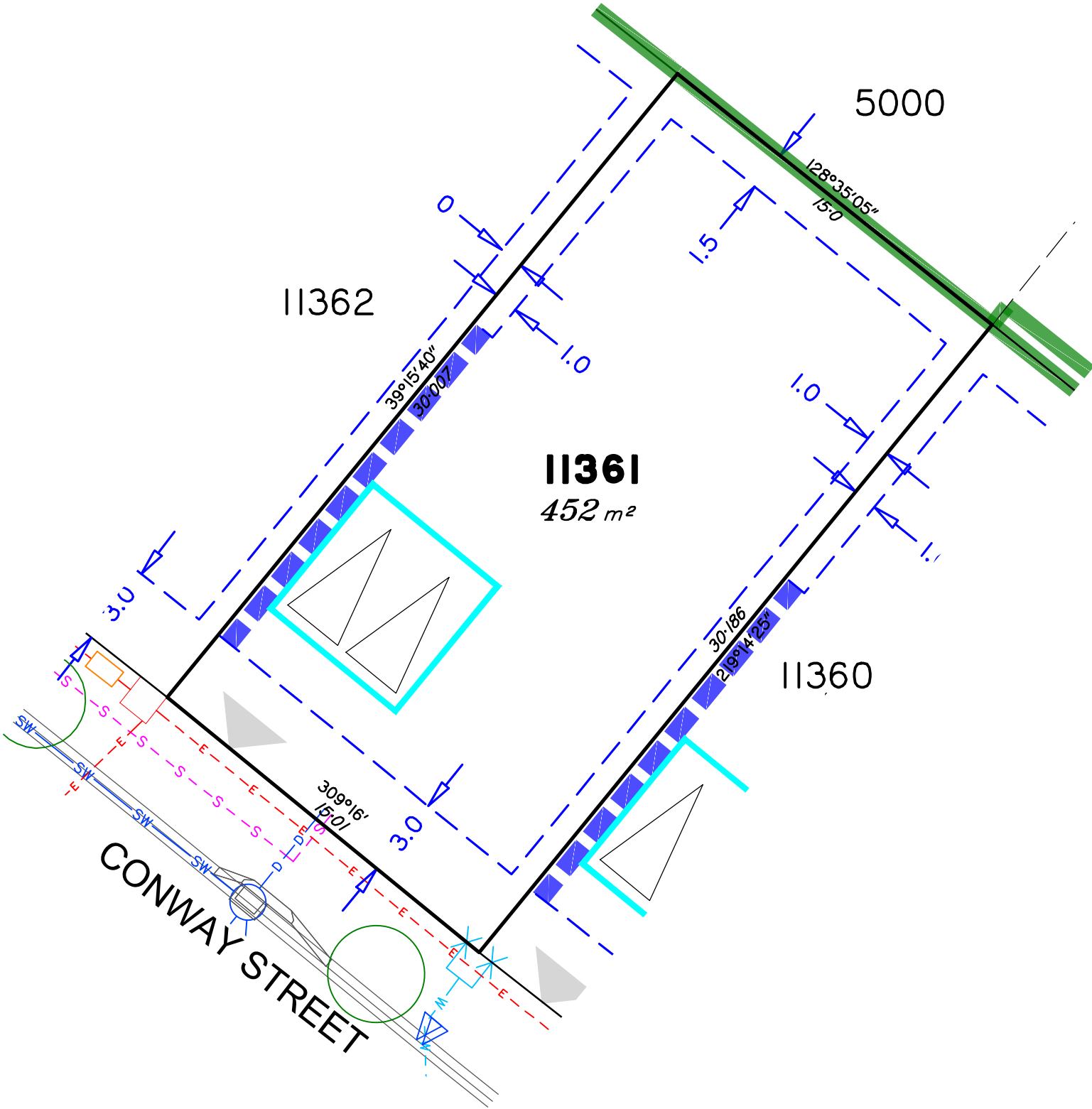
*

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY

*

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11361 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11361



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

ELECTRICAL & NBN

ELECTRICAL & GAS SHARED TRENCH (TBA)

GAS (TBA)

NBN

SEWER LINE / MANHOLE

STORMWATER LINE / MANHOLE

ROOFWATER LINE / PIT / KERB ADAPTOR

WATER

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

NBN PIT

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE

PLAN OF DEVELOPMENT

-
- BUILDING ENVELOPE (GROUND FLOOR)

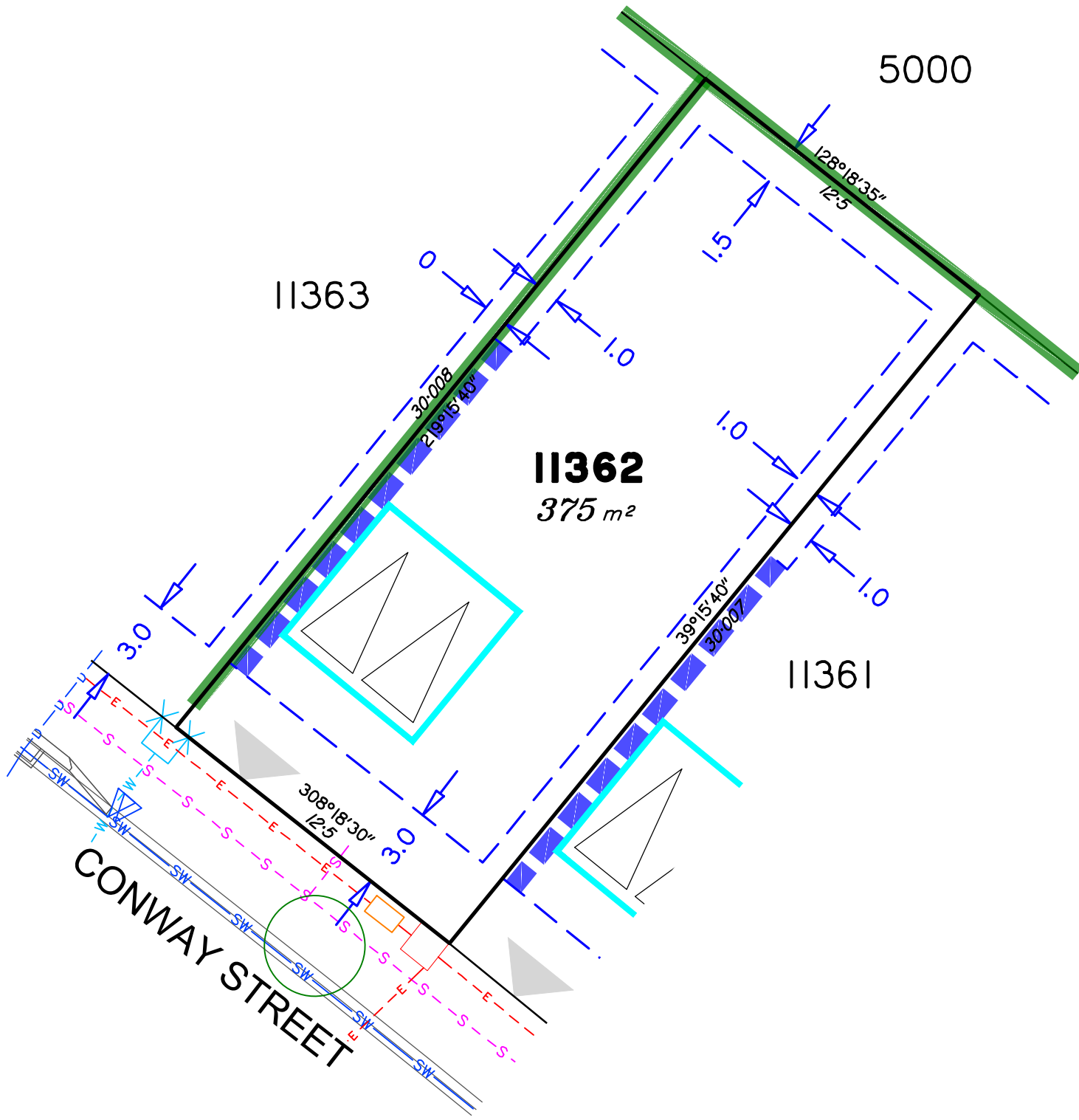
OPTIONAL BUILT TO BOUNDARY WALL

INDICATIVE DRIVEWAY CROSSOVER

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.05.2026	ORIGINAL ISSUE

CHECKED
TG

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mirvac

SCALE
1:200

0125m

PLAN OF PROPOSED LOT 11362 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11362



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MONARCH GLEN

PRECINCT 101.03

NOTES

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4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

ELECTRICAL & NBN

ELECTRICAL & GAS SHARED TRENCH (TBA)

GAS (TBA)

NBN

SEWER LINE / MANHOLE

STORMWATER LINE / MANHOLE

ROOFWATER LINE / PIT / KERB ADAPTOR

WATER

RETAINING WALL

ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)

FEATURE FENCE (CONSTRUCTED BY MIRVAC)

STORMWATER GULLY PIT

STREETLIGHT

ELECTRICAL PILLAR

NBN PIT

WATER METER BOX (METER BY OWNER/BUILDER)

STREET TREE

PLAN OF DEVELOPMENT

-
- BUILDING ENVELOPE (GROUND FLOOR)

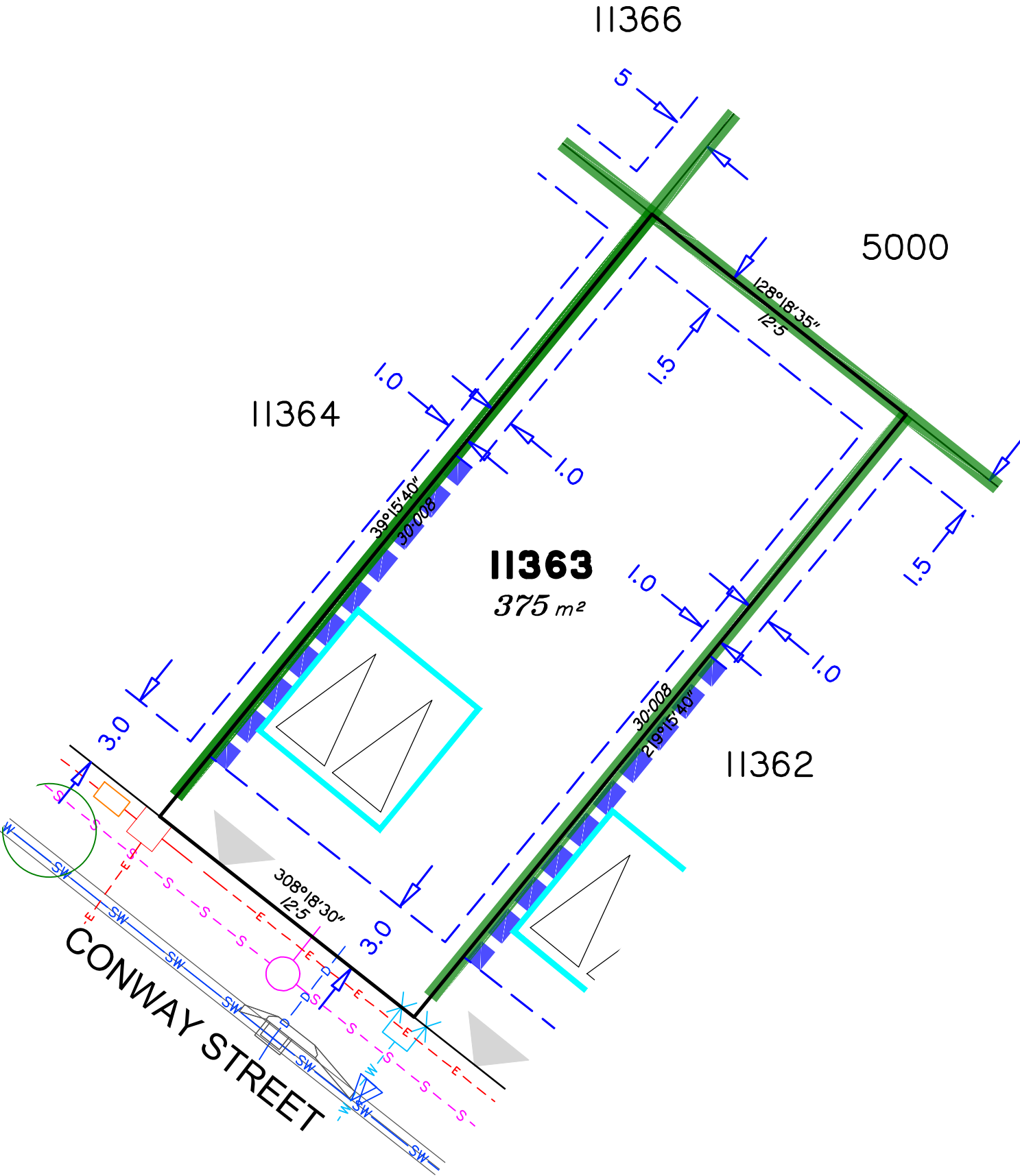
OPTIONAL BUILT TO BOUNDARY WALL

INDICATIVE DRIVEWAY CROSSOVER

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY

BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS

INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 11363 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 15 AD A_11363



Kindira

MONARCH GLEN

PRECINCT 101.03

NOTES

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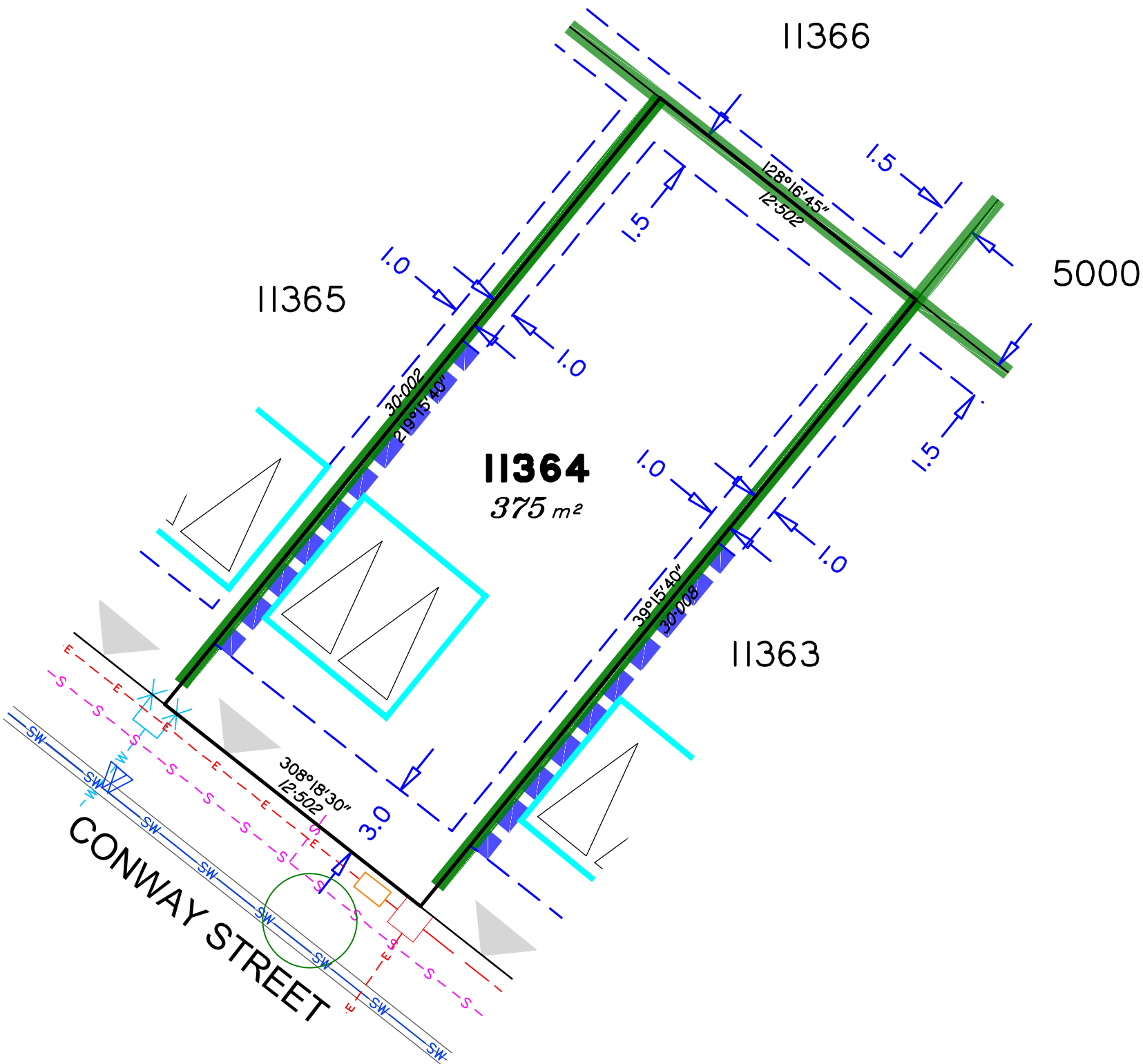
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11364 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 15 AD A 11364



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MONARCH GLEN

PRECINCT 101.03

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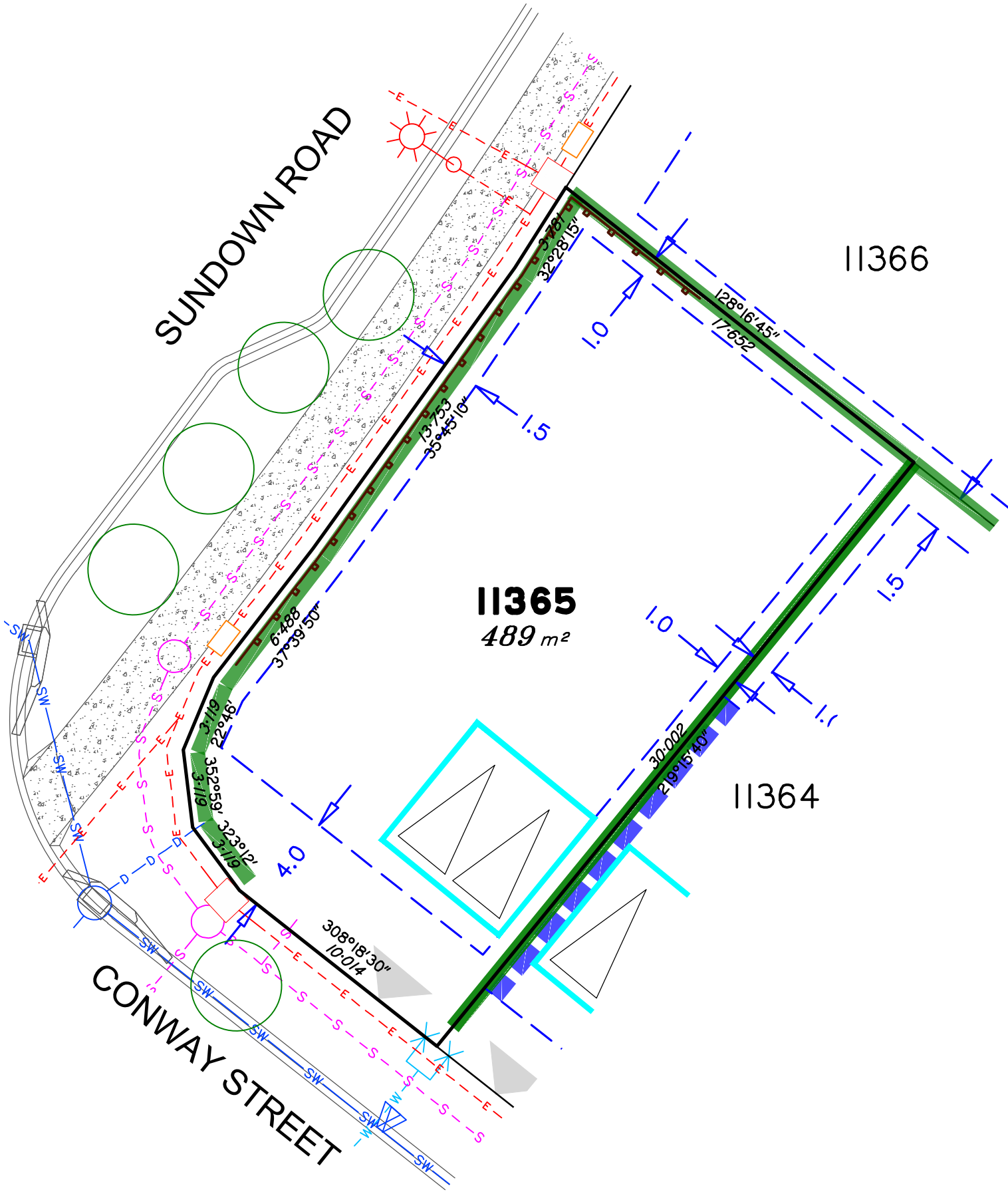
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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A	TG	06.05.2026	ORIGINAL ISSUE	TG

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SCALE

0 1 2 5m

1:200

PLAN OF	
PROPOSED LOT 11365 ON SP357520	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	LOCAL GOVERNMENT:
MONARCH GLEN	LOGAN CITY COUNCIL

DRAWING TITLE	SERVICES AND OTHER FEATURES PLAN
DRAWING NO.	11731 S 15 AD A 11365



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MONARCH GLEN

PRECINCT 101.03

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LEGEND

SERVICES & FEATURES

- E

EG

G

NBN

S

SW

D

W

ELECTRICAL & NBN
ELECTRICAL & GAS SHARED TRENCH (TBA)
GAS (TBA)
NBN
SEWER LINE / MANHOLE
STORMWATER LINE / MANHOLE
ROOFWATER LINE / PIT / KERB ADAPTOR
WATER
RETAINING WALL
ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
FEATURE FENCE (CONSTRUCTED BY MIRVAC)
STORMWATER GULLY PIT
STREETLIGHT
ELECTRICAL PILLAR
NBN PIT
WATER METER BOX (METER BY OWNER/BUILDER)
STREET TREE
- PLAN OF DEVELOPMENT
- BUILDING ENVELOPE (GROUND FLOOR)
OPTIONAL BUILT TO BOUNDARY WALL
INDICATIVE DRIVEWAY CROSSOVER
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)
-
- Saunders
Havill

BOWEN HILLS | SPRINGFIELD
1300 123 744 | mail@saundershavill.com
-
- | ISSUES | | | |
|------------|-------|------------|----------------|
| NO. | DRAWN | DATE | DESCRIPTION |
| A | TG | 06.05.2026 | ORIGINAL ISSUE |
| CHECKED TG | | | |
- SERVICES AND FEATURES DATA SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM DESIGN PLANS ONLY, AND ARE SUBJECT TO FINAL SURVEY AND CONSTRUCTION. PLAN OF DEVELOPMENT DATA IS SHOWN AS A GUIDE ONLY. BUILDING SETBACK & DESIGN CRITERIA IN THE APPROVED PLAN OF DEVELOPMENT SUPERCEDE ANY PLAN OF DEVELOPMENT INFORMATION SHOWN ON THIS PLAN.
-
- SCALE

0125m

1:200
- | | |
|---|---------------------------|
| PLAN OF
PROPOSED LOT 11366 ON SP357520 | |
| DESCRIBED AS: | PART OF LOT 1 ON SP351245 |
| EXISTING TITLE REFERENCE: | 51370117 |
| LOCALITY: | MONARCH GLEN |
| LOCAL GOVERNMENT: | LOGAN CITY COUNCIL |
- | |
|--|
| DRAWING TITLE
SERVICES AND OTHER
FEATURES PLAN |
| DRAWING NO.
11731 S 15 AD A_11366 |
-

Kindira

MONARCH GLEN

PRECINCT 101.03

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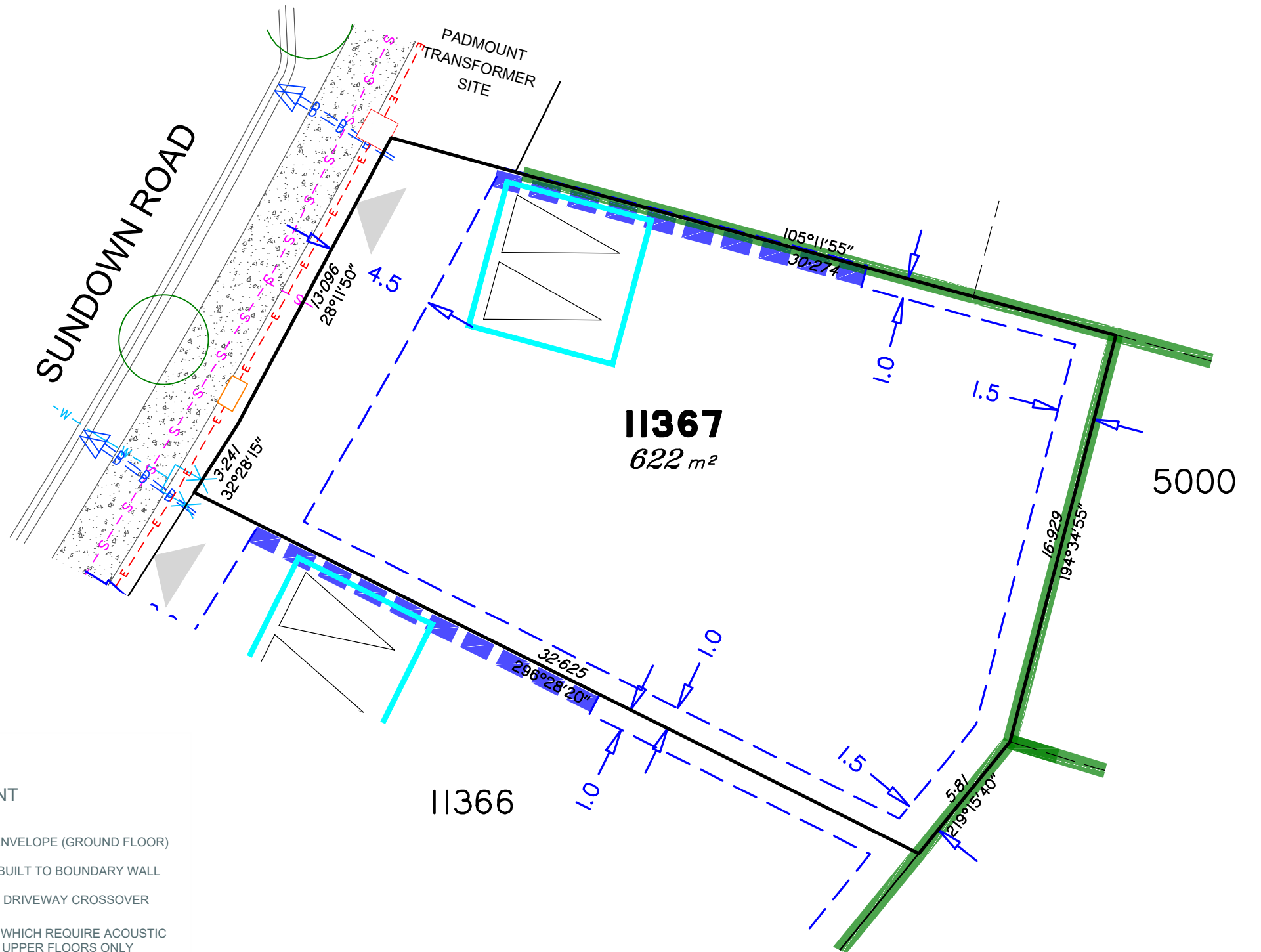
LEGEND

SERVICES & FEATURES

- | | |
|--|--|
| | ELECTRICAL & NBN |
| | ELECTRICAL & GAS SHARED TRENCH (TBA) |
| | GAS (TBA) |
| | NBN |
| | SEWER LINE / MANHOLE |
| | STORMWATER LINE / MANHOLE |
| | ROOFWATER LINE / PIT / KERB ADAPTOR |
| | WATER |
| | RETAINING WALL |
| | ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) |
| | FEATURE FENCE (CONSTRUCTED BY MIRVAC) |
| | STORMWATER GULLY PIT |
| | STREETLIGHT |
| | ELECTRICAL PILLAR |
| | NBN PIT |
| | WATER METER BOX (METER BY OWNER/BUILDER) |
| | STREET TREE |

PLAN OF DEVELOPMENT

- | | |
|---|--|
|  | BUILDING ENVELOPE (GROUND FLOOR) |
|  | OPTIONAL BUILT TO BOUNDARY WALL |
|  | INDICATIVE DRIVEWAY CROSSOVER |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY |
|  | BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS |
|  | INDICATIVE GARAGE LOCATION
(SETBACK 5m FROM BOUNDARY) |



ISSUES				
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SCALE
1:200

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 1, 2, and 5. The segment between 0 and 1 is divided into two equal parts, and the segment between 1 and 2 is also divided into two equal parts. The segment between 2 and 5 is a single, longer segment.

PLAN OF

PROPOSED LOT 11367 ON SP357520

DESCRIBED AS: PART OF LOT 1 ON SP351245

EXISTING TITLE REFERENCE: 51370117

LOCALITY: MONARCH GLEN

LOCAL GOVERNMENT:
LOGAN CITY COUNCIL

DRAWING TITLE

SERVICES AND OTHER FEATURES PLAN

DRAWING NO.

11731 S 15 AD A_11367

